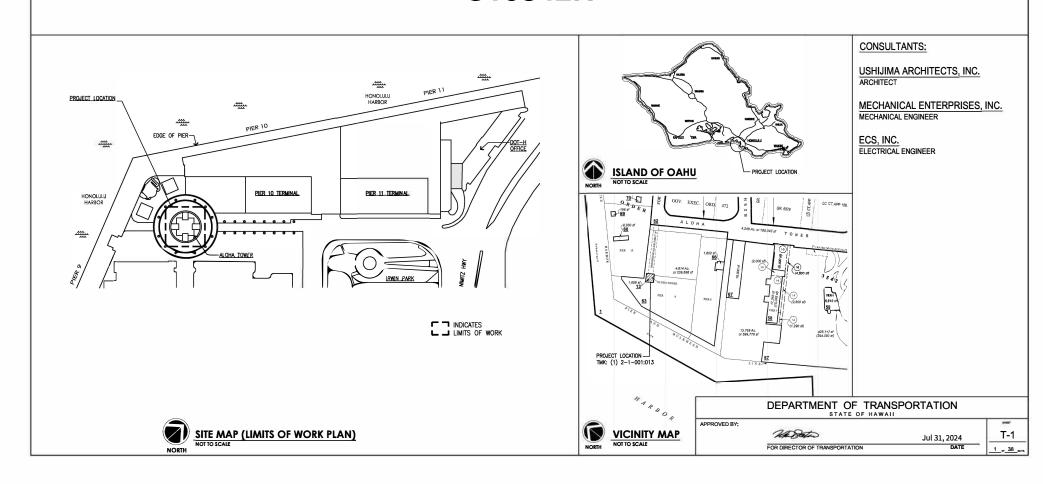
## REPAIR ELEVATOR AT ALOHA TOWER HONOLULU, OAHU, HAWAII

**FOR THE** 

STATE OF HAWAII
DEPARTMENT OF TRANSPORTATION
HARBORS

S10842R



#### **GENERAL NOTES** APPLICABLE CODES SHEET INDEX GENERAL VERIFY ALL DIMENSIONS AND ACTUAL CONDITIONS ON SITE PRIOR TO THE SUBMITTAL OF ANY BIDS, OR THE INITIATION OF ANY WORK, IMMEDIATELY NOTIFY THE HARBORS DIMISION OF ANY DISCREPANCIES PRIOR TO ANY ADDITIONAL WORK. INTERNATIONAL BUILDING CODE (IBC), 2018 EDITION WITH CITY AND COUNTY OF HONOLULU AMENDMENTS DIMISION OF AMY DISCREPANCES FRORT TO ANY ADDITIONAL WORK. PARCH ALL SHAPPACES AFFECTE BY SELECTIVE DEMOLITION TO MINIOR DAY. PARCH ALL SHAPPACES AFFECTE BY SELECTIVE DEMOLITION TO MINIOR DAY. PARCH ALL SHAPPACES AFFECTE BY SELECTIVE DEMOLITION TO MINIOR DAY. PARCH ALL SHAPPACES AFFECTE BY SELECTIVE DEMOLITION TO MINIOR DAY. PARCH ALL SHAPPACES AFFECTE BY SELECTIVE TO THE STELL ADDISORABLE OF STRICTURE TO THE ORIGINAL CONTINUOUS. SERVICE OF THE STORE DAMAGE TO THE STELL ADDISORABLE OF STRICTURE TO THE ORIGINAL CONTINUOUS. SERVICE OF WORK AREAS COORDINATED TO WIND HITH THE CONSTRUCTION DEVIALD THE ORIGINAL CONTINUOUS. OF WORK AREAS COORDINATED TO WIND HITH THE CONSTRUCTION DEVIALD THE COMPLETION OF PROVIDE AND AMNITARIN SUITABLE BRANGES AS REQUIRED TO PREVENT PUBLIC ENTRY AND TO PROTECT THE WORK AND EXISTING FACILITIES FROM CONSTRUCTION DEPERATIONS, REMAKE WHEN NO LONGER REQUIRED, OR AT THE COMPLETION OF THE WORK. WORKMANISHEP SHALL BE OF GOOD QUALITY IN ACCORDINACE TO INDUSTRY STANDARDS. NEW MATERIALS SHALL BE LOSED THROUGHOUT. ALL WORK SHALL BE DONE IN A MANINER SO AS TO MAILTON ADMITTANT SHAPPING THE CONTINUOUS CONSTRUCTION DEPERATIONS. REMAINS TO MAILTON ADMITTANT OF THE MAILT SHAPPING THE CONTINUOUS CONSTRUCTION DEPERATIONS. REMAINS TO MAILTON ADMITTANT SHAPPING THE CONTINUOUS OF WORK TRANSH DISPOSAL, MARGINGS DIVISION CONSTRUCTION ENGINEER. ARBIST OF THE CONTINUOUS CONTINUOUS CONTINUOUS CONTINUOUS CONTINUOUS DEVIALORS DIVISION CONSTRUCTION ENGINEER. RESPONSIBLE FOR THE MORN AND ADMITTANT SHAPPING TO SHAPPING THE ADMITTANT SHAPPING TO THE MARGES TO THE PROPERS OF WORK IN ADMITTANT SHAPPING. FOR THE MORN AND ADMITTANT SHAPPING TO THE EXPENSED TO REPAIR DAMAGES RESULTING FROM CONTRACTOR SHALL BE ESPONISHED FOR THE MORN AND ADMITTANT SHAPPING TO THE EXPENSE TO REPAIR DAMAGES RESULTING FROM CONTRACTORS SHALL FOR TRESHIPS AND ADMITTANT SHAPPING TO THE EXPENSE TO REPAIR DAMAGES RESULTING FROM CONTRACTORS SHAPPING TO REQUISION. PROJECT DIRECTORY, MAP OF OAHU, VICINITY MAP SHEET INDEX, SCOPE OF WORK, APPLICABLE CODES, GENERAL NOTES T-2 INTERNATIONAL ENERGY CONSERVATION CODE (IECC), 2018 EDITION WITH CITY AND COUNTY OF ARREVIATIONS AND SYMBOLS LINIFORM PLUMRING CODE (LIPC) 2018 EDITION WITH ARCHITECTURAL CITY AND COUNTY OF HONOLULU AMENDMENTS **EXISTING 1ST FLOOR - DEMOLITION PLAN** UNIFORM FIRE CODE (UFC), NFPA 1 2018 EDITION WITH A-2 EXISTING 2ND FLOOR - DEMOLITION PLAN CITY AND COUNTY OF HONOLULU AMENDMENTS Δ-3 EXISTING 3RD FLOOR - DEMOLITION PLAN NATIONAL ELECTRICAL CODE (NEC), 2017 EDITION WITH LOCAL AMENDMENTS A-4 EXISTING 4TH, 5TH, 6TH, 8TH FLOOR - DEMOLITION PLAN IBC SECTION 1101.2 CONFORMATICE THITT THE DISSION AND CONSTRUCTION REQUIREMENTS OF THE AMERICANS WITH DESABLIFLES ACT ACCESSIBILITY GUIDELINES ADMINISTERED BY THE DEPARTMENT OF JUSTICE OR THE FAIR HOUSING ACT ACCESSIBILITY GUIDELINES ADMINISTERED BY THE DEPARTMENT OF HOUSING AND AND LIBBAN DEVELOPMENT SHALL BE EQUIVALENT TO MEETING THE ACCESSIBILITY OF THIS CODE. CONSTRUCTION OF PUBLIC BUILDINGS OR FACILITIES IN COMPLANCE WITH HRS 103-50 SHALL BE A-5 EXISTING 7TH FLOOR - DEMOLITION PLAN A-6 **EXISTING 9TH FLOOR - DEMOLITION PLAN** THIS PROJECT HAS BEEN REVIEWED BY DISABILITY AND COMMUNICATION ACCESS BOARD (DCAB) AND TO THE BINGT OF OUR KNOWLEDGE CONFORMS TO THE AMERICANS WITH A-7 **EXISTING CLOCK FLOOR - DEMOLITION PLAN** DISABILITIES ACT (ADA) ACCESSIBILITY GUIDELINES. BUILDINGS AND FACILITIES SHALL BE DESIGNED AND CONSTRUCTED TO BE ACCESSIBLE IN ACCORDANCE WITH THIS CODE (IBC 2018) AND ICC A117.1 A-8 **EXISTING 10TH FLOOR - DEMOLITION PLAN** EXISTING 11TH FLOOR (ELEVATOR MACHINE ROOM) - DEMOLITION PLAN CONFORMANCE WITH THE DESIGN AND CONSTRUCTION REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES ADMINISTERED BY THE DEPARTMENT OF JUSTICE OR THE FAIR HOUSING ACT ACCESSIBILITY GUIDELINES ADMINISTERED BY THE DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT SHALL BE EQUIVALENT TO MEETING THE ACCESSIBILITY OF THIS CODE. 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IN CASE OF SPILL, LEAK, OR OTHER RELEASE CONTAINING A HAZARDOUS SUBSTANCE OR OIL, THE CONTRACTOR SHALL NOTIFY APPROPRIATE FACILITY PERSONNEL, EMERGENCY RESPONSE AGENCIES, AND REGULATORY AGENCIES FOLLOWING NOTIFICATION PROCEDURES, AND SHALL NOTIFY HARBORS CONSTRUCTION ENGINEER IMMEDIATELY (I.E., WITHIN 1.14.4 REVIEW AND APPROVAL BY THE AHJ SHALL NOT RELIEVE THE APPLICANT OF THE RESPONSIBILITY OF COMPLIANCE WITH THIS CODE. A-13 EXISTING 3RD FLOOR - NEW PLAN 16 Δ-14 EXISTING 4TH, 5TH, 6TH, 8TH FLOOR - NEW PLAN 1.3.6.3 REPAIRS, RENOVATIONS, ALTERATIONS, RECONSTRUCTION, CHANGE OF OCCUPANCY, AND ADDITIONS TO BUILDINGS SHALL CONFORM TO THIS CODE, NFPA 101, AND THE BUILDING A-15 EXISTING 7TH FLOOR - NEW PLAN 24-HOURS). SUCH CONTACT INFORMATION MUST BE POSTED AT LOCATIONS THAT ARE READILY ACCESSIBLE. A-16 EXISTING 9TH FLOOR - NEW PLAN 12. THE CONTRACTOR SHALL SUBJUT A SITE-SPECIFIC BEST MANAGEMENT PRACTICE (BMP) PLAN TO HARBORS CONSTRUCTION ENGINEER PRIOR TO THE START OF ANY CONSTRUCTION WORK. THE SITE-SPECIFIC BMP PLAN SHALL COMPLY WITH ARTICLE XII — TEMPORARY WATER POLLUTION, DUST, AND EROSION CONTROL IN THE SPECIFICATIONS AND PROPOSAL 119 20 A-17 EXISTING CLOCK FLOOR - NEW PLAN I IARII IT A-18 EXISTING 10TH FLOOR - NEW PLAN 1.9.4 THIS CODE SHALL NOT BE CONSTRUED TO RELIEVE FROM OR LIBSEN THE RESPONSIBILITY EXISTING 11TH FLOOR (ELEVATOR MACHINE ROOM) - NEW PLAN OF ANY PERSON OWNING, OPERATING, OR CONTROLLING ANY BUILDING OR STRUCTURE FOR ANY DAMAGES TO PERSONS OR PROPERTY CAUSED BY DEFECTS, NOR SHALL THE CODE ENFORCEMENT AGENCY OR TIS PARENT JURISDICTION BE HELD AS ASSUMING ANY SUCH A-19 A-20 EXISTING 11TH FLOOR (ELEVATOR MACHINE ROOM) - NEW RCP EXISTING ELEVATIONS, LOUVER SCHEDULE A-21 LIABILITY BY REASON OF THE INSPECTIONS ALTHORIZED BY THIS CODE OR ANY PERMITS OR CERTIFICATES ISSUED LINDER THIS CODE DOOR SCHEDULE & TYPE, WALL TYPE, SECTION 25 A-22 REFERENCE PHOTOS - EXISTING ELEVATOR DIAL A-23 **EXTERIOR ELEVATIONS (FOR REFERENCE ONLY - NOT TO SCALE)** MECHANICAL 27 M-1 MECHANICAL GENERAL NOTES AND LEGEND (E)UPPER CROW'S NEST, N.I.C. 28 M-2 11TH FLOOR FIRE SUPPRESSION DEMOLITION PLAN 29 M-3 11TH FLOOR NEW FIRE SUPPRESSION PLAN 30 M-4 11TH FLOOR NEW MECHANICAL PLAN (E)LOWER CROW'S NEST 31 M-5 MECHANICAL SCHEDULE AND DETAIL (E)12TH FLOOR (INTERMEDIATE LANDING) ELECTRICAL 32 TE-1 ELECTRICAL SYMBOL LIST AND GENERAL NOTES (E)11TH FLOOR (ELEVATOR MACHINE ROOM) 33 E-2 FIRE ALARM NOTES E-3 34 OVERALL ELECTRICAL PLAN 35 E-4 FIRST FLOOR ELECTRICAL PLAN (OBSERVATORY DECK) E-5 11TH FLOOR ELECTRICAL PLANS 37 F-6 ONE LINE DIAGRAM 38 E-7 FIRE ALARM RISER DIAGRAM (E)CLOCK FLOOR (E)9TH FLOOR SCOPE OF WORK REPAIR AND REPLACEMENT TO THE EXISTING ELEVATOR AND DIALS AT ALOHA TOWER. WORK TO INCLUDE BUT NOT LIMITED TO: DEMOLITION, MECHANICAL, AND ELECTRICAL. (E)BTH FLOOR (E)7TH FLOOR (E)6TH FLOOR (E)5TH FLOOR REV DATE (E)4TH FLOOR STATE OF HAWAII DEPARTMENT OF TRANSPORTATION HARBORS (E)3RD FLOOR JOS TITLE REPAIR ELEVATOR AT ALOHA TOWER HONOLULU HARBOR, OAHU, HAWAI (E)2ND FLOOR SHEET TITLE SHEET INDEX, SCOPE OF WORK, APPLICABLE CODES, GENERAL NOTES. EXTERIOR ELEVATIONS

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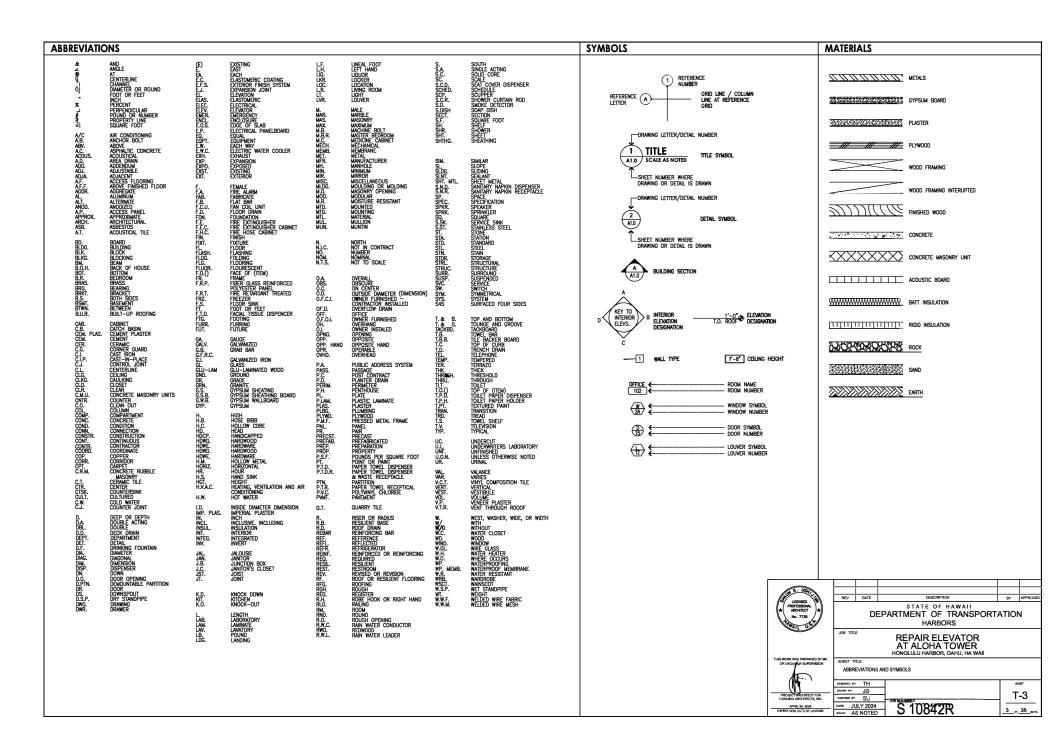
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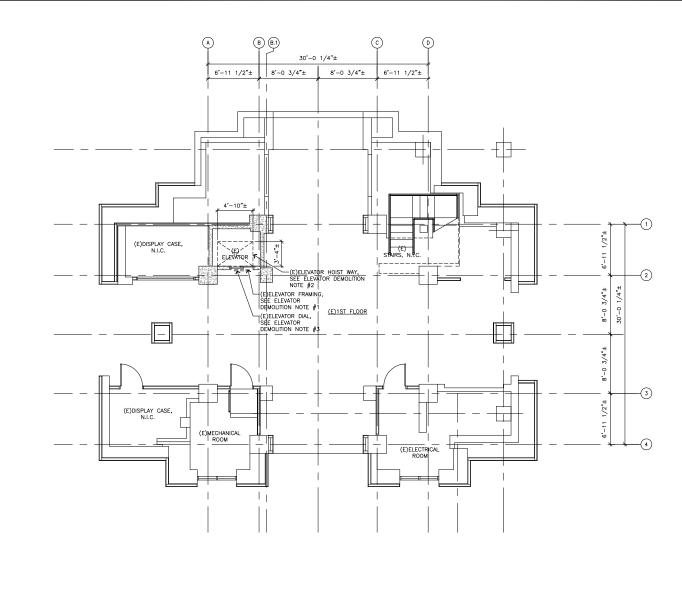
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(E)GROUND FLOOR

MAUKA

DIAMOND HEAD





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REPAIR ELEVATOR AT ALOHA TOWER

SHEET TITLE

EXISTING 1ST FLOOR - DEMOLITION PLAN

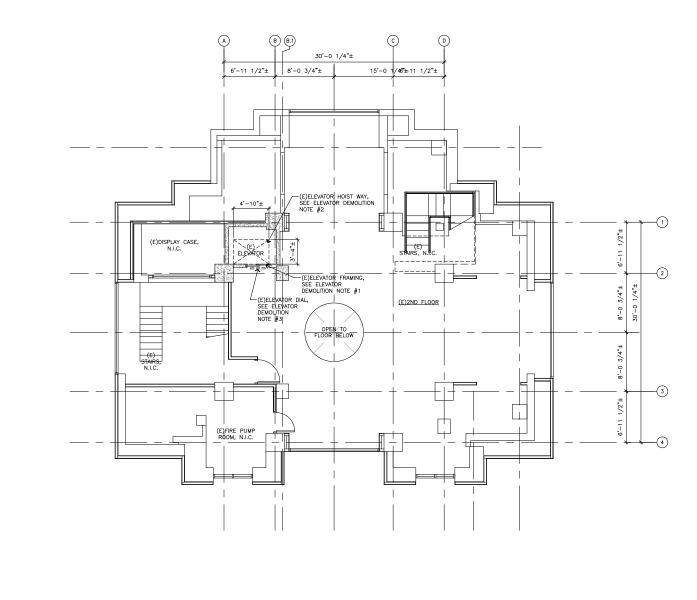
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(E)1ST FLOOR-DEMOLITION PLAN
SCALE: 1/4" = 1'-0"





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REPAIR ELEVATOR AT ALOHA TOWER

THIS WORK WAS PREPARED BY OR UNDERMY SUPERVISION

PROJECT RICHITECT FOR USHJIMA ARCHITECTS, INC.

SHEET TITLE
EXISTING 2ND FLOOR - DEMOLITION PLAN

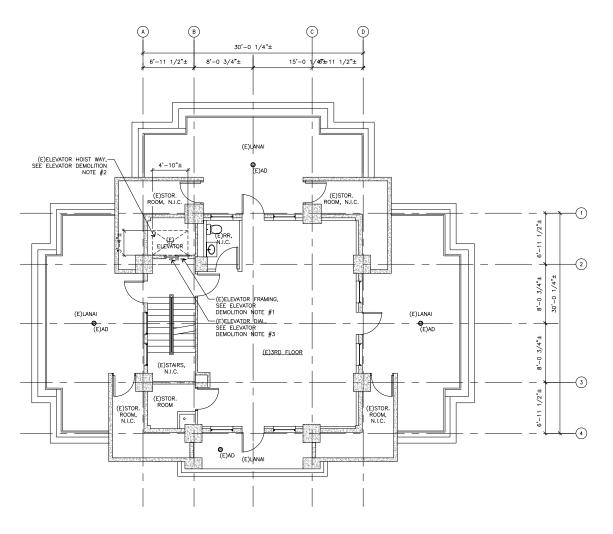
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OFFICIAL STATE JULY 2024
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4 2 0 4 SCALE: 1/4"=1'-0"

(E)2ND FLOOR-DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



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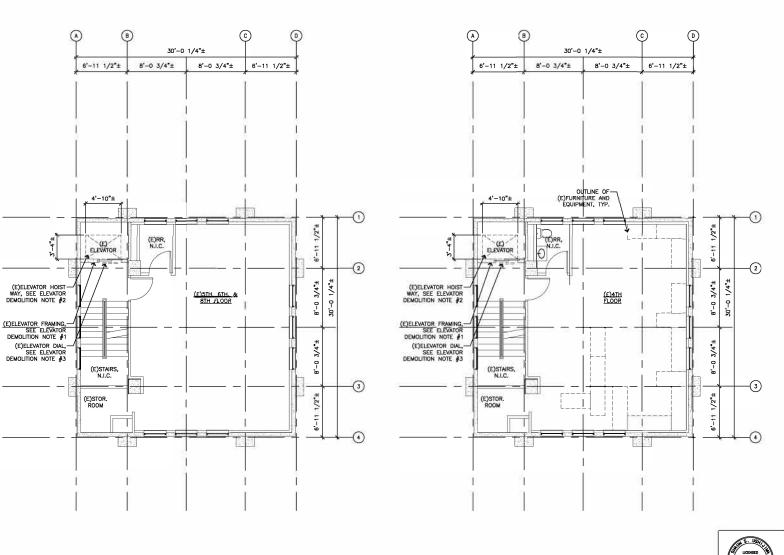
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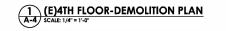
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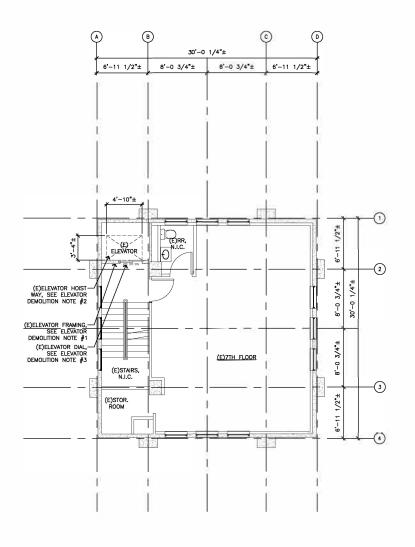








REV DATE STATE OF HAWAII
DEPARTMENT OF TRANSPORTATION HARBORS REPAIR ELEVATOR AT ALOHA TOWER EXISTING 4TH, 5TH, 6TH, & 8TH FLOOR - DEMOLITION PLAN A-4 S10842R BULY 2024 SCALE: AS NOTED 7 or 38 se





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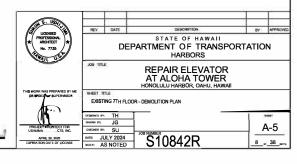
#### ELEVATOR DEMOLITION NOTES

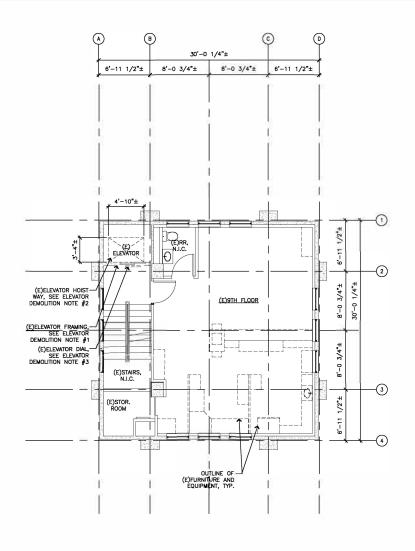
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STATE OF HAWAII
DEPARTMENT OF TRANSPORTATION

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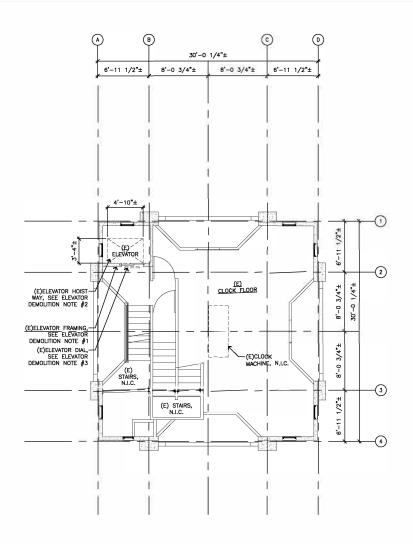




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REV. DATE









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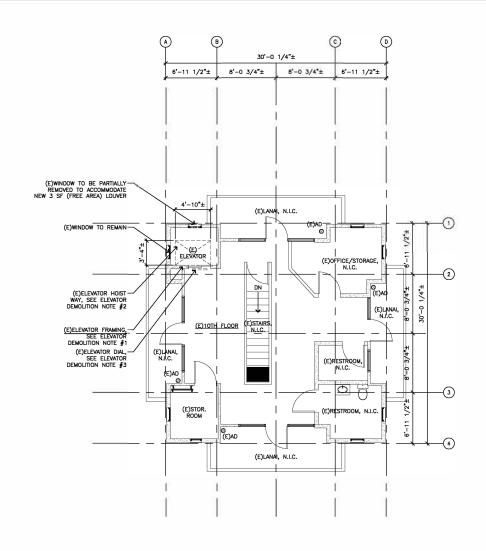
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STATE OF HAWAII
DEPARTMENT OF TRANSPORTATION

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HARBORS JOB TITLE REPAIR ELEVATOR AT ALOHA TOWER

SHEET TITLE

CHECKED BY: SU

BULY 2024 SCALE: AS NOTED

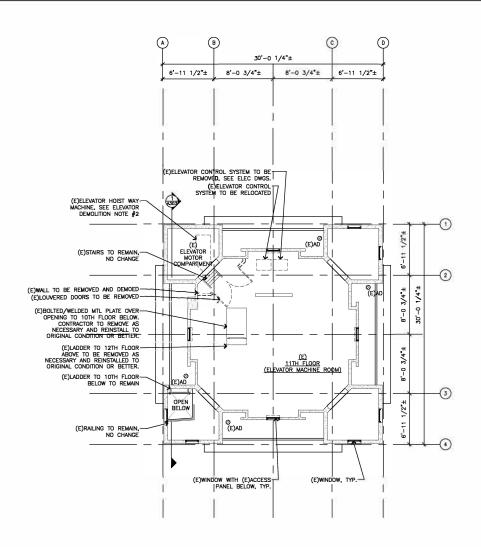
EXISTING 10TH FLOOR - DEMOLITION PLAN www.en: JG

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- ALL EXISTING DOORS, WINDOWS, STAIRS, AND RAILINGS TO REMAIN, NO CHANGE, U.N.O.. TYPICAL.
- REFER TO MECHANICAL, PLUMBING, AND ELECTRICAL SHEETS FOR ADDITIONAL INFORMATION AND COORDINATION.

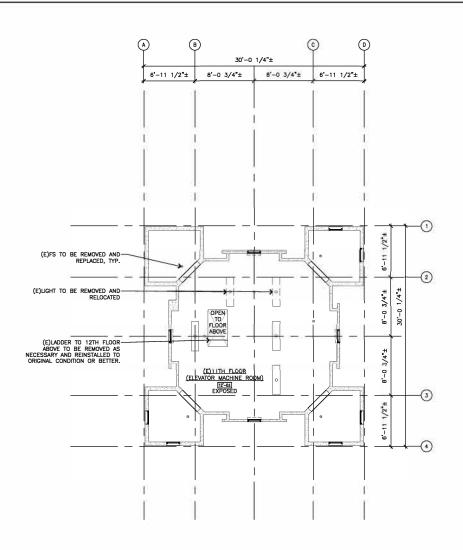
#### GENERAL DEMOLITION NOTES:

- 1. PATCH ALL SURFACES AFFECTED BY SELECTIVE DEMOLITION TO MATCH ADJACENT AND/OR EXISTING CONDITIONS UNLESS NOTED OTHERWISE. SELECTIVE DEMOLITION SHALL INCLUDE, BUT NOT LIMITED TO THE CAREFUL REMOVAL OF EXISTING MECHANICAL EQUIPMENT/SYSTEMS
- 2. CAUTION SHALL BE EXERCISED SO THAT NO EXISTING AREAS TO REMAIN SHALL BE DAMAGED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY/ALL CORRECTIVE WORK REQUIRED TO RESTORE DAMAGE TO THE STRUCTURE TO THE ORIGINAL CONDITIONS.

#### EI\_EVATOR\_DEMOLITION\_NOTES

- 1. REMOVE AND DISPOSE OF EXISTING KONE ELEVATOR CONTROL SYSTEM, SELECTOR, DIRECT MOTOR DRIVE SYSTEMS, ISOLATION TRANSFORMER AND RELATED WIRING.
- 2. REMOVE AND DISPOSE OF GEARED HOIST MACHINE, HOIST MOTOR, SHEAVES, GOVERNOR AND ITS ASSOCIATED HARDWARF
- 3. REMOVE AND DISPOSE OF HOIST AND GOVERNOR CABLES.
- 4. RETAIN AND REFURBISH CAR AND COUNTERWEIGHT GUIDE RAILS, RAIL BRACKETS, BACKING PLAIES, RISHPLATES, CLIPS AND ASSOCIATED HARDWARE. VERTICALLY ALIGN CAR AND COUNTERWEIGHT GUIDE RAILS FOR SMOOTH OPERATION OF ELEVATOR.
- 5. REMOVE AND DISPOSE OF BUFFER STAND AND BUFFER.
- 6. REMOVE AND DISPOSE OF LIMIT SWITCHES, HOISTWAY SWITCHES, HOISTWAY DOOR INTERLOCKS, DOOR ROLLERS, DOOR CLOSERS AND DOOR PANELS.
- 7. REMOVE AND DISPOSE OF CAR ENCLOSURE, CAR FLOORING, DOOR OPERATOR, ROLLER GUIDES, EXHAUST FAN, CAR DOOR, CAR DOOR ROLLERS AND GIBS.
- 8. RETAIN AND REFURBISH EXISTING CAR SLING, CAR PLATFORM, SAFETIES.
- 9. RETAIN AND REFURBISH COUNTERWEIGHT FRAME. RETENTION RODS, COUNTERWEIGHT. REMOVE AND DISPOSE OF COUNTERWEIGHT ROLLER GUIDE ASSEMBLIES AND ROPE ACCESSORIES.
- REMOVE CAR AND COUNTERWEIGHT BUFFER.







- CONTRACTOR TO SURVEY EXISTING SPACE TO REVIEW ALL EXISTING CONDITIONS AND TO CONFIRM SCOPE OF WORK PRIOR TO DEMOLITION.
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- ALL FIRE SPRINKLERS TO REMAIN, NO CHANGE.
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#### LEGEND:

O LIGHT FIXTURE

→ FIRE SPRINKLER HEAD



REV. DATE STATE OF HAWAII
DEPARTMENT OF TRANSPORTATION

HARBORS JOB TITLE

REPAIR ELEVATOR AT ALOHA TOWER HONOLULU HARBOR, OAHU, HAWAII

SHEET TITLE

EXISTING 11TH FLOOR (ELEVATOR MACHINE ROOM) -REFLECTED CEILING PLAN DEMOLITION PLAN

APRIL 30, 2026 EXPIRATION DATE OF LIC

DESIGNED BY: TH CHECKED BY: SU DATE: JULY 2024 SCALE: AS NOTED

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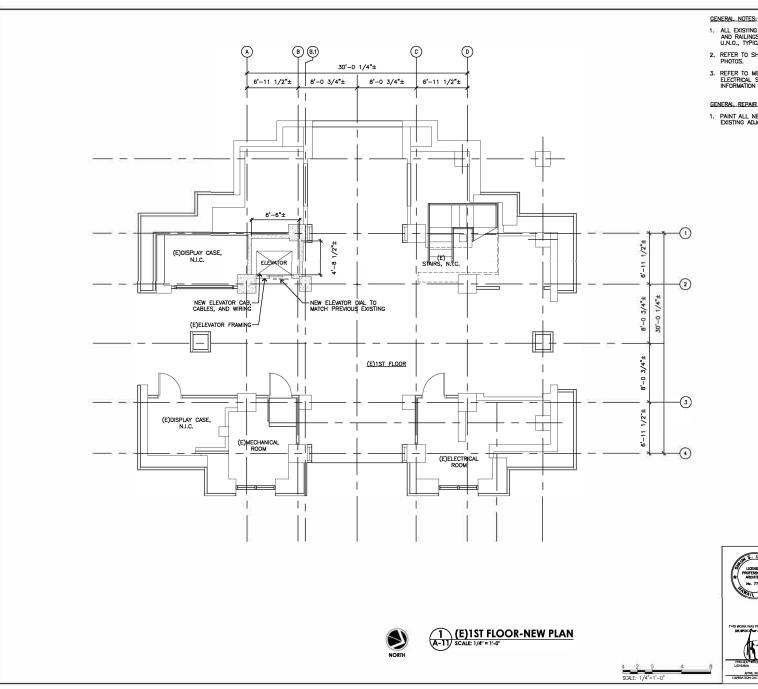
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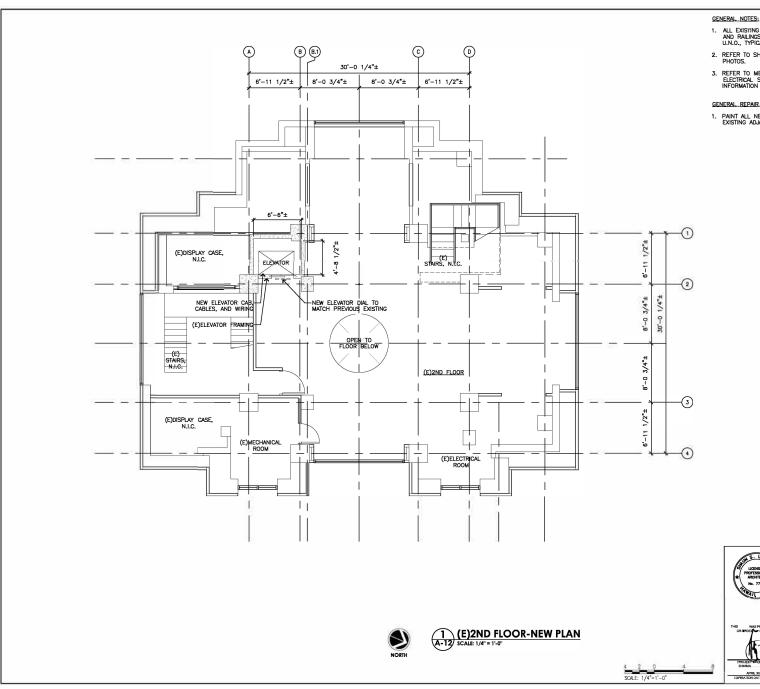
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- 1. REMOVE AND DISPOSE OF EXISTING CAR AND COUNTERWEIGHT BUFFERS. PROVIDE NEW CAR AND COUNTERWEIGHT BUFFERS WITH PIT CHANNELS.
- 2. REFURBISH EXISTING COUNTERWEIGHT RAILS AND RELATED ACCESSORIES TO A NEW CONDITION, VERTICALLY PLUMP ALIGNMENT OF CAR AND COUNTERWEIGHT
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- 11. REMOVE EXISTING AND PROVIDE NEW PIT LIGHT WITH GUARD (SEE ELECTRICAL DRAWINGS)
- 12. EXTERNAL SURFACES OF ELEVATOR HOISTWAY ENTRANCES AND DOORS SHALL BE ELECTROSTATICALLY PAINTED.





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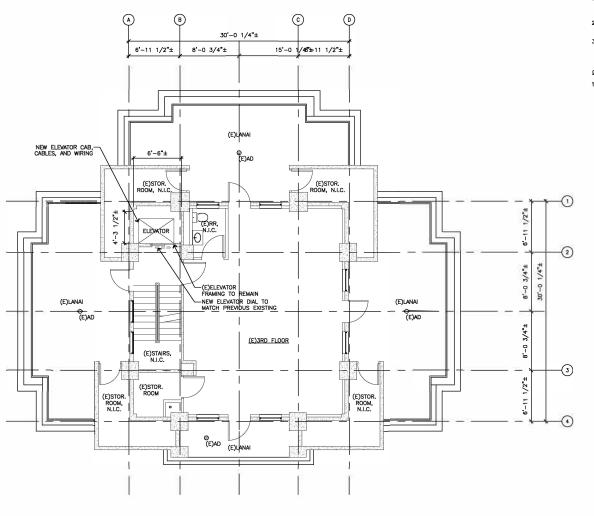


REPAIR ELEVATOR AT ALOHA TOWER

NAMED TITLE EXISTING 2ND FLOOR PLAN - NEW PLAN

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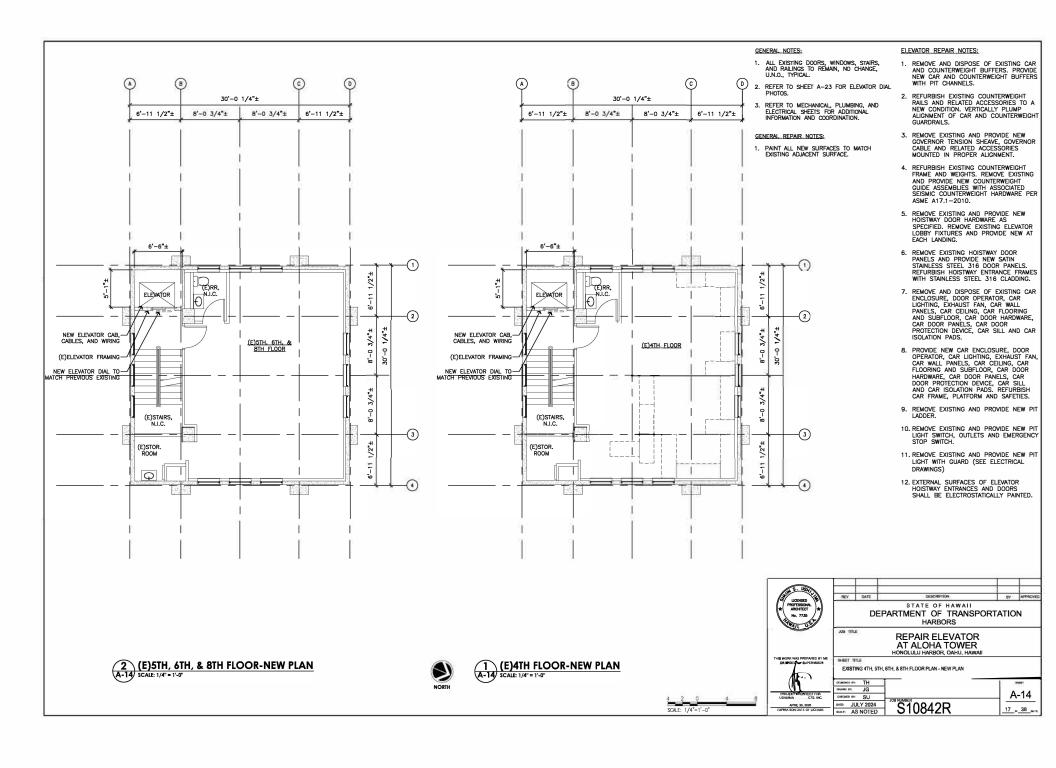
STATE OF HAWAII
DEPARTMENT OF TRANSPORTATION

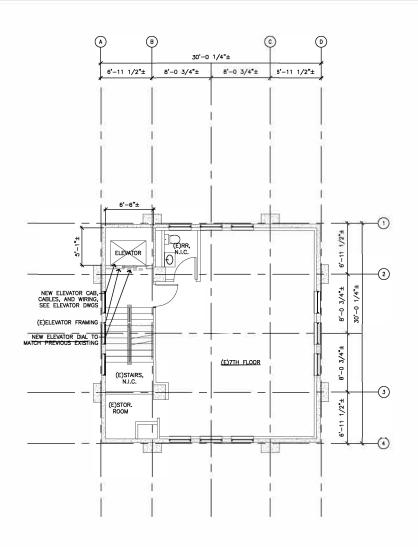






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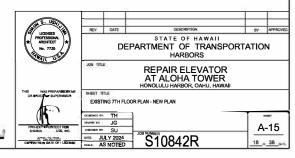
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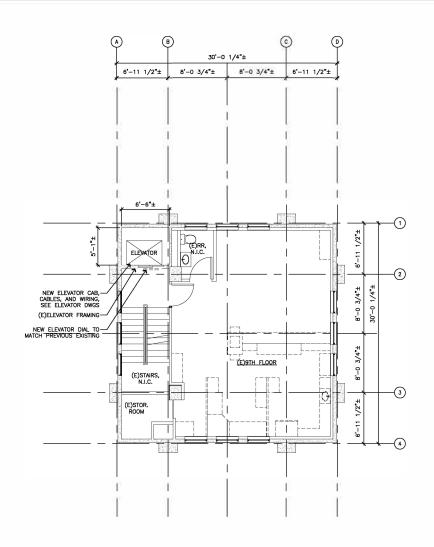
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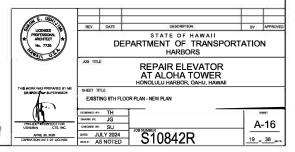
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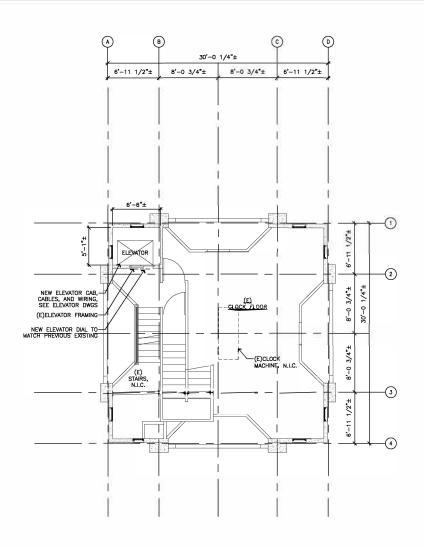
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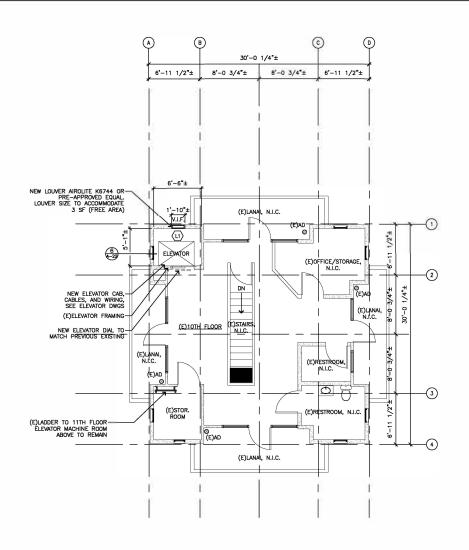
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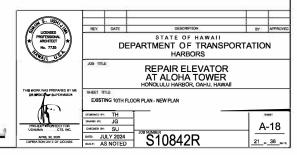


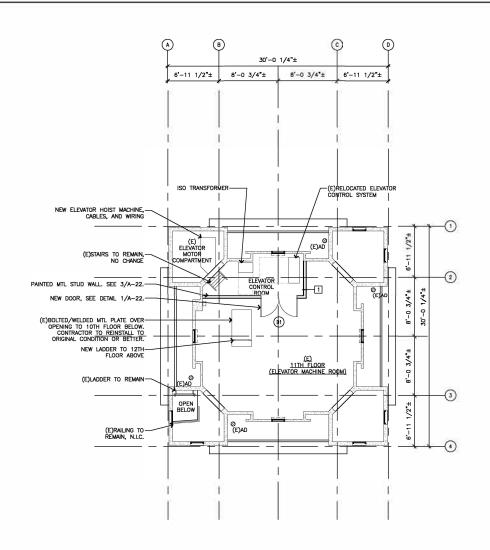
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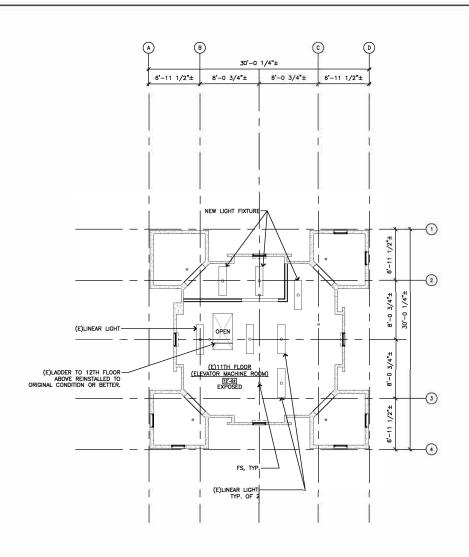
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#### GENERAL REPAIR NOTES:

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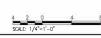
- REMOVE AND DISPOSE OF EXISTING CAR AND COUNTERWEIGHT BUFFERS. PROVIDE NEW CAR AND COUNTERWEIGHT BUFFERS WITH PIT CHANNELS.
- 2. REFURBISH EXISTING COUNTERWEIGHT RAILS AND RELATED ACCESSORIES TO A NEW CONDITION. VERTICALLY PLUMP ALIGNMENT OF CAR AND COUNTERWEIGHT GUARDRAILS.
- 3. REMOVE EXISTING AND PROVIDE NEW GOVERNOR TENSION SHEAVE, GOVERNOR CABLE AND RELATED ACCESSORIES MOUNTED IN PROPER ALIGNMENT.
- 4. REFURBISH EXISTING COUNTERWEIGHT FRAME AND WEIGHTS. REMOVE EXISTING AND PROVIDE NEW COUNTERWEIGHT GUIDE ASSEMBLIES WITH ASSOCIATED SEISMIC COUNTERWEIGHT HARDWARE PER ASME A17.1—2010.
- 5. REMOVE EXISTING AND PROVIDE NEW HOISTWAY DOOR HARDWARE AS SPECIFIED. REMOVE EXISTING ELEVATOR LOBBY FIXTURES AND PROVIDE NEW AT EACH LANDING.
- REMOVE EXISTING HOISTWAY DOOR PANELS AND PROVIDE NEW SATIN STAINLESS STEEL 316 DOOR PANELS. REFURBISH HOISTWAY ENTRANCE FRAMES WITH STAINLESS STEEL 316 CLADDING.
- REMOVE AND DISPOSE OF EXISTING CAR ENCLOSURE, DOPO PEPATOR, CAR LICHTING, EXHAUST FAN, CAR WALL PANELS, CAR CELLING, CAR FLOORING AND SUBFLOOR, CAR DOOR HARDWARE, CAR DOOR PANELS, CAR DOOR PROTECTION DEVICE, CAR SILL AND CAR ISOLATION PADS.
- 8. PROVIDE NEW CAR ENCLOSURE, DOOR OPERATOR, CAR LIGHTING, EXHAUST FAN, CAR WALL PANELS, CAR CEILING, CAR FLOORING AND SUBFLOOR, CAR DOOR HARDWARE, CAR DOOR PANELS, CAR DOOR PROTECTION DEWCE, CAR SILL AND CAR ISOLATION PADS. REFURBISH CAR FRAME, PLATFORM AND SAFEIES.
- 9. REMOVE EXISTING AND PROVIDE NEW PIT
- 10. REMOVE EXISTING AND PROVIDE NEW PIT LIGHT SWITCH, OUTLETS AND EMERGENCY STOP SWITCH.
- 11. REMOVE EXISTING AND PROVIDE NEW PIT LIGHT WITH GUARD (SEE ELECTRICAL DRAWINGS)
- 12. EXTERNAL SURFACES OF ELEVATOR
  HOISTWAY ENTRANCES AND DOORS
  SHALL BE ELECTROSTATICALLY PAINTED.











- ALL EXISTING DOORS, WINDOWS, STARS, AND RAILINGS TO REMAIN, NO CHANGE, U.N.O., TYPICAL.
- REFER TO MECHANICAL, PLUMBING, AND ELECTRICAL SHEETS FOR ADDITIONAL INFORMATION AND COORDINATION.

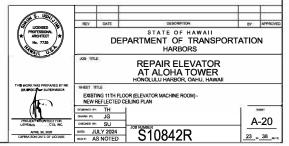
#### GENERAL\_REPAIR\_NOTES;

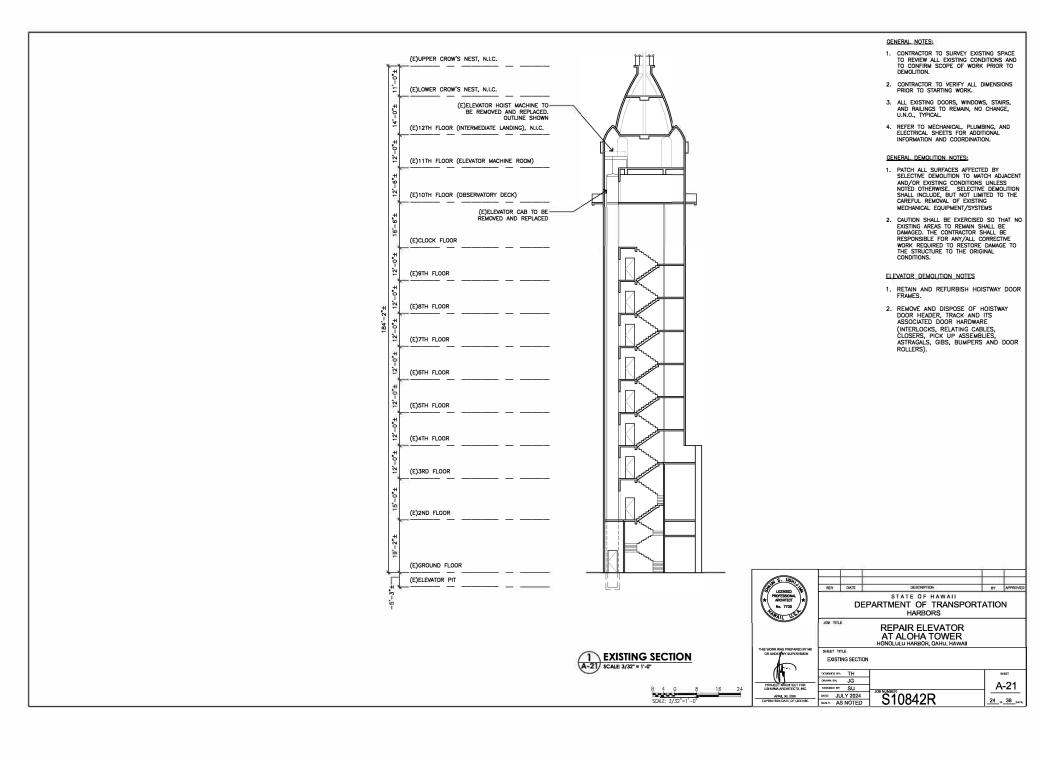
 PAINT ALL NEW SURFACES TO MATCH EXISTING ADJACENT SURFACE.

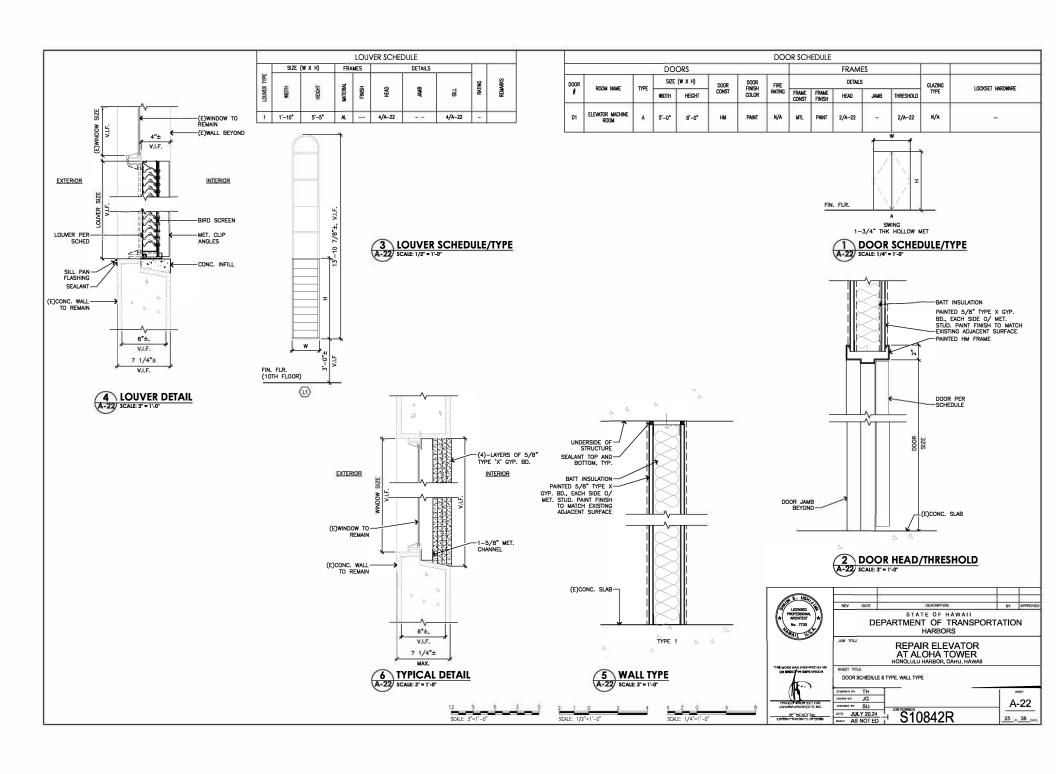
#### LEGEND:

O LIGHT FIXTURE

→ FIRE SPRINKLER HEAD







## GENERAL\_NOTES: CONTRACTOR TO SURVEY EXISTING SPACE TO REVIEW ALL EXISTING CONDITIONS AND TO CONSTRM SCOPE OF WORK PRIOR TO DEMOLITION. PHOTO 7: EXIST. ELEVATOR DIAL AT EXIST. 7TH FLOOR PHOTO 3: EXIST. ELEVATOR DIAL AT EXIST. 3RD FLOOR PHOTO 8: EXIST. ELEVATOR DIAL AT EXIST. 8TH FLOOR PHOTO 4: EXIST. ELEVATOR DIAL AT EXIST. 4TH FLOOR PHOTO 1: EXIST. ELEVATOR DIAL AT EXIST. GROUND FLOOR PHOTO 5: EXIST. ELEVATOR DIAL AT EXIST. 5TH FLOOR PHOTO 2: EXIST. ELEVATOR DIAL AT EXIST. 2ND FLOOR PHOTO 9: EXIST. ELEVATOR DIAL AT EXIST. 9TH FLOOR REV DATE DESCRIPTION STATE OF HAWAII DEPARTMENT OF TRANSPORTATION HARBORS JOB TITLE REPAIR ELEVATOR AT ALOHA TOWER HONOLULU HARBOR, OAHU, HAWAII REFERENCE PHOTOS - EXISTING ELEVATOR DIAL PHOTO 10: EXIST. ELEVATOR DIAL AT EXIST. 10TH FLOOR PHOTO 6: EXIST. ELEVATOR DIAL AT EXIST. 6TH FLOOR RAMIN BY: JG A-23 DATE: JULY 2024 \$10842R APRIL 30, 2026 EXPIRATION DATE OF LICENS

- CONFORM TO ALL REQUIREMENTS OF THE 2018 IBC, 2018 UPC, 2018 IECC, AND 2018 NFPA 1 CODES OF THE COUNTY OF HONOLULL, STATE OF HAWAII HEALTH REGULATIONS, FIRE DEPARTMENT REGULATIONS, MANUFACTURER'S RECOMMENDATIONS, AND OTHER APPLICABLE REGULATIONS.
- EXAMINE ALL PROJECT PLANS AND BECOME FAMILIAR WITH ALL EXISTING CONDITIONS AND THE EXTENT OF REMOVAL, RELOCATION, AND/OR NEW WORK PRIOR TO BIDDING. NOTIFY AND COORDINATE WITH THE CONTRACTING OFFICER FOR ANY MAJOR DEWATIONS OR DISCREPANCIES DISCOVERED IN THE PLANS AND SPECIFICATIONS DUE TO UNFORESEEN OR VARTING FIELD CONDITIONS.
- INSTALLATION SHALL BE GUARANTEED TO BE FREE FROM DEFECTS FOR ONE YEAR FROM FINAL DATE OF ACCEPTANCE OF THE PROJECT AS A WHOLE.
- 4. CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS PRIOR TO BID AND CONSTRUCTION
- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING LINE SIZES, CONDITIONS, AND INVERTS PRIOR TO BID AND CONSTRUCTION.
- 6. THE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO COVER THE COMPLETE INSTALLATION OF SYSTEMS TO FUNCTION AS DESCRIBED AND SPECIFED. THE OMISSION OF REFERENCE TO ANY NECESSARY ITEM OF LABOR OR MATERIAL PAUL NOT RELIEVE THE CONTRACTOR FROM PROVIDING SUCH LABOR AND MATERIAL AT NO ADDITIONAL COST TO THE STATE.
- 7. DRAWING FILES WILL NOT BE AVAILABLE TO CONTRACTORS FOR SHOP DRAWINGS OR ANY OTHER PURPOSE.
- CAULK ALL PENETRATIONS WATERTIGHT. PROVIDE ALL CUTTING, PATCHING, AND RESTORING OF EXISTING SURFACES TO MATCH ORIGINAL SURFACE FINISHES. SPOT PAINT TO MATCH EXISTING SURFACES/SCO OR.
- 9. PREPARE SHOP DRAWINGS, QUANTITY AS PER SPECS, SUBMITTED TO THE CONTRACTING OFFICER FOR APPROVAL PRIOR TO THE START OF WORK. NO REPRODUCTIONS OF ANY MIND OF THE CONTRACT DOCUMENTS SHALL BE ACCEPTABLE AS SHOP DRAWINGS. PROMOE ONE SET OF REPRODUCIBLE AS-BUILT DRAWINGS SHOWING THE ACTUAL INSTALLED CONDITIONS AND SUBMIT TO THE STATE UPON COMPLETION OF WORK.
- 10. DRAWINGS ARE DIAGRAMMATIC IN NATURE AND DO NOT SHOW EVERY EXACT DETAIL OF PIPING, PROWDE OFFSETS AS NECESSARY TO AVOID LOCAL DESTRUCTIONS OR INTERFERENCES WITH OTHER TRADES. REWEW ALL PIPING RUNS PROR TO FABRICATION AND IMMEDIATELY NOTIFY THE CONTRACTING OFFICER OF ANY INTERFERENCES AND/OR LOCK OF ADEQUATE CLEARANCES.
- 11. SHOULD PROJECT CONDITIONS REQUIRE REARRANGEMENT OF WORK, MARK SUCH CHANGES ON THE AS-BUILT DRAWNISS. IF THESE CHANGES REQUIRE ALTERNATE METHODS TO THOSE APPROVED BY THE CONTRACT DOCUMENTS, SUBMIT SHOP DRAWNISS SHOWING THE PROPOSED ALTERNATE METHODS TO THE CONTRACTING OFFICER FOR REVIEW/APPROVAL PRIOR TO PROCEEDING WITH WORK.
- Contractor submittals are to be provided as a complete package. Piecemeal submittals will not be reviewed and returned.
- 13. COORDINATE ALL WORK WHICH WILL AFFECT AREAS NOT IN CONTRACT WITH THE CONSTRUCTION ENGINEER. SCHEDULE OFF-HOUR WORK WHEN REQUIRED TO MINIMIZE DISRUPTIONS.
- ALL STEEL SHALL BE HOT DIPPED GALVANIZED. GALVANIZED STEEL EXPOSED TO WEATHER SHALL HAVE WEATHER PROOF PAINT TO MATCH SURFACES. PROVIDE TWO EXTRA COATS OF EPOXY PAINT.
- PROVIDE ACCESS TO ALL ITEMS UNDER THIS SECTION REQUIRING SERVICING, INSPECTION, MAINTENANCE, AND ADJUSTMENT.
- 16. COORDINATE ALL WORK WITH OTHER TRADES TO AVOID INTERFERENCES AND DELAYS.
- SEISMICALLY BRACE ALL EQUIPMENT AND PIPING IN ACCORDANCE WITH THE CURRENT BUILDING CODE AND THEIR RESPECTIVE SEISMIC ZONE LOCATIONS.
- Locate all utility lines or other interferences in areas of proposed work prior to start of work. Repair or pay for all damages to existing utilities.
- PROVIDE ESCUTCHEON PLATES AT ALL EXPOSED WALL PENETRATIONS IN FINISHED AREAS, EXTERIOR WALL ETC.
- ALL PENETRATIONS THRU EXISTING WALLS, CEILINGS, FOUNDATIONS, AND FLOOR SLABS MUST BE IN TOTAL COMPLIANCE WITH ARCHITECTURAL/STRUCTURAL PROCEDURES AND DRAWINGS.
- 21. COORDINATE ALL SWITCH LOCATIONS WITH HARBOR OFFICE STAFF PRIOR TO INSTALLATION TO AVOID NITERFERENCES WITH PAINTING, BULLETIN BOARDS, FURNITURE, ETC. ANY ITEM NOT PROPERLY CORDINATED SHALL BE RELOCATED AT NO ADDITIONAL COST TO THE STATE.
- ALL EXTERIOR NUTS, BOLTS, SCREWS, WASHERS, FASTENERS, SUPPORTS STRAPS, ETC. SHALL BE TYP 316 STAINLESS STEEL.
- FIRE SAFETY DURING CONSTRUCTION, ALTERATION OR DEMOLITION SHALL BE IN ACCORDANCE WITH 2018 NFPA 1 AND NFPA 241.
- 24. FIRESTOP ALL PIPE AND CONDUIT PENETRATIONS THROUGH FIRE RATED WALLS.
- 25. ALL DEVICES AND EQUIPMENT SHALL BE UL LISTED AND FM APPROVED.
- 5. PIPE AND FITTINGS SHALL COMPLY WITH NFPA 13, EXCEPT THAT ALL PIPING SHALL BE STEEL. PROVIDE HOT DIPPED GALVANIZED PIPE AND FITTINGS ON ALL EXTERIOR PIPING INCLUDING THE RISER.
- 27. ALL FOUPMENT SHALL BE CAPABLE OF FITTING INTO THE SPACES ALLOCATED WHILE MEETING THE MANUFACTURER'S RECOMMENDED ACCESS REQUIREMENTS. REVIEW ALL SPACES WHERE EQUIPMENT IS TO BE INSTALLED PRIOR TO ORDERING OF EQUIPMENT AND NOTIFY THE ENGINEER OF ANY INADEQUATE CLEARANCES OR CONDITIONS THAT WILL PREVENT THE PROPER INSTALLATION, MAINTENANCE, AND OPERATION OF THE EQUIPMENT.
- 28. OBTAIN APPROVAL FROM THE ARCHITECT BEFORE MAKING ANY PENETRATIONS THROUGH STRUCTURAL MEMBERS, WALLS, AND SLABS.

		MECHANICAL LEGEND
SYMBOL	ABBRV	DESCRIPTION
	AP	ACCESS PANEL
—-cD—	CD	CONDENSATE DRAIN
	CFM	CUBIC FEET PER MINUTE
Ø	DIA	DIAMETER
	DN	DOWN
	DT	DUCT
	DB	DRY BULB
	HD	HEAT DETECTOR
	HP	HORSE POWER
	RPM	ROTATION PER MINUTE
Φ	PH	PHASE
T	T-STAT	THERMOSTAT
	TYP	TYPICAL
	٧	VOLTS
	WAC	WINDOW AIR CONDITIONING
	WB	WET BULB
	FS	FIRE SPRINKLER

				ı	1							
SS R TAN	REV	DATE	DESCRIPTION		APPROVED							
UCENSED T	REV	DATE	DESCRIPTION	BY	APPROVED							
PROFESSIONAL PROFE			STATE OF HAWAII									
* No. 8301-W /*/		DEPARTMENT OF TRANSPORTA										
Transition of the second	HARBORS											
	JOB TITL	E										
			REPAIR ELEVATOR									
	AT ALOHA TOWER											
	HONOLULU HARBOR, OAHU, HAWAII											
THIS WORK WAS PREPARED BY ME OR UNDER MY SUPERMISION	SHEET TITLE											
OR UNDER MY SUPERVISION	MECHANICAL GENERAL NOTES AND LEGEND											
	DESIGNED BY	MEI		8	ECT							
PROJECT ENGINEER FOR	DRAWN BY:	N	1 4									
MECHANICAL ENTERPRISES. INC.	CHECKED BY	RRT	JOB NUMBER	الإ	<b>I-</b> 1							
APRIL 30, 2024	DATE JU	JLY 2024	- S10842R	I								
EXPIRATION DATE OF LICENSE	SCALE A	S NOTED	- 310042K	27 or	38 <sub>sers.</sub>							

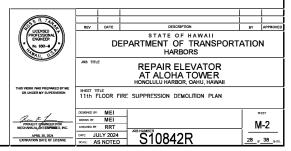
## (A) (B) 0 (D) FS2)(R)PENDANT— TYPE FS HEAD CUT/CAP--EXISTING SPACE IS CURRENTLY PROTECTED WITH AN EXISTING WET PIPE RIRE SPRINKLER SYSTEM. CONTRACTOR TO FIELD VERIFY EXISTING FIRE SPRINKLER PIPING, AS WELL ABANDONED FIRE SPRINKLER PIPING. IT IS DESIGN INTENT TO DEMO ABANDONED FIRE SPRINKLER PIPING. (R)UPRIGHT-PENDANT TYPE FS HEAD (R)ABANDONED-FS PIPING Salvere e pri (FS3)(R)4" FS RISER-FS3(R)2" FS DRAIN-LINE A 11TH FLOOR FIRE SUPPRESSION DEMOLITION PLAN N-2 SCALE: 1/4" = 1"-0"

 $\frac{\text{NOTE:}}{1.}$  contractor to confirm existing PIPE sizes, and route prior to demolition work.



#### FIRE SPRINKLER DEMO WORK NOTES:

- (S) REMOVE ABANDONED FIRE SPRINKLER COMPLETELY THROUGHOUT THE FLOOR, INCLUDE DRAIN LINE, BUTTERFLY YALVE, CHECK VALVE, ETC. PATCH/REPAIR TO MATCH EXISTING, IT IS NOT THE DESIGN INTENT TO DEMO EXISTING, FIRE SPRINKLER PIPING THAT IS, IN USE. THE DESIGN INTENT IS TO ONLY DEMO ABANDONED FIRE SPRINKLER PIPING WITHIN THE FLOOR. CONTRACTOR TO FIELD VERIFY EXISTING PIPING PRIOR TO DEMOLITION WORK AND PROVIDE SHOP DRAWINGS FOR REVIEW.
- REMOVE FIRE SPRINKLER HEAD COMPLETE. INCLUDING BUT NOT LIMITED TO FIRE SPRINKLER PIPING, HEADS, HANGES, ETC. CUT/CAP FIRE SPRINKLER PIPING AS SHOWN ON DEMOLITION PLAN. EXISTING FIRE SPRINKLER PIPING TO REMAIN FOR NEW CONNECTION SHOWN ON NEW FIRE SPRINKLER PIPING. TO FILED VERIFY.
- (S3) EXISTING 4" FIRE SPRINKLER RISER TO BE CUT/REMOVED COMPLETELY THROUGHOUT THE 11TH FLOOR, INCLUDE DRAIN LINE, BUTTERFLY VALVE, CHECK VALVE, ETC. PATCH/REPAIR TO MATCH EXISTING. CONTRACTOR TO FIELD VERIFY EXISTING PIPING PRIOR TO DEMOLITION WORK.



### (A) 0 (D) (B) FS2)(N)HEAT— DETECTOR (E)WALL TYPE-DRY FS HEAD \*\*\*\*\*\*\* (N)PENDANT-TYPE FS HEAD PRE-ACTION SOLENOID VALVE, SOV W/ TAMPER SWITCH S3(n)upright— Pendant type FS Head (S)(N)FLOOR CONTROL VALVE ASSEMBLY S. 110.00 (FS1)(N)4" FS RISER-(FS)(N)2" FS DRAIN-(N)FREACTION POC TITH FLOOR NEW FIRE SUPPRESSION PLAN A 11TH FLOOR N M-3 SCALE: 1/4" = 1'- 0"

#### FIRE SPRINKLER DEMO WORK NOTES:

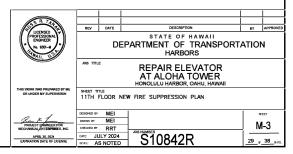
- PROVIDE NEW FIRE SPRINKLER RISER COMPLETE. INCLUDING BUT NOT LIMITED TO DRAIN LINE, BUTTERFLY VALVE, CHECK VALVE, ALARIA CHECK VALVE, PRESSURE GAUGES, PRV, ECC. PROVIDE NEW PIPING ON NOW PIPING TO NOW FICE. EACH FLOOR BRANCHES SHALL HAVE A FLOW SWITCH AND OSAY SWITCH. REFER TO CVM-5 FOR FLOOR CONTROL DEAL PATCH-REPENIE WALLS, CELING, FLOORS TO MATCH EXISTING. CONTRACTOR TO FIELD VERIFY. **(53)**
- (S)

  PROMOE NEW PRE-ACTION SYSTEM COMPLETE: INCLUDING BUT NOT LIMITED TO SOLENOID VALVE, SOW, FIRE SPRINGLER HEAD, HANGERS, HEAT DETECTOR, AND FIRE SPRINGLER PIPING UP TO POC AS SHOWN ON PLAN. PATCH/REPAIR WALLS, CEILING, TO MATCH EXISTING. CONTRACTOR TO FIELD VERIFY EXISTING.
- PROVIDE NEW FIRE SPRINKLER PIPING AS SHOWN ON PLAN, INCLUDING BUT NOT LIMITED TO, PIPING, HANGERS, FIRE SPRINKLER HEAD, ETC. CONTRACTOR TO FIELD VERIFY EXISTING.

EXISTING SPACE IS CURRENTLY PROTECTED WITH AN EXISTING WET PIPE FIRE SPRINKLER SYSTEM. REPLACE EXISTING WET PIPE FIRE SPRINKLER SYSTEM WITH NEW AND MODIFY TO ACCOMMODITE THE NEW ARCH LAYOUT. HE SYSTEM SHALL BE IN FULL ACCORDANCE WITH NFPA AND HER EXEMENHENTS. EXISTING SPACE SHALL BE SERVED BY CONCEALED IS HEADS WHERE THERE IS A HARD CELING, ACDISTIC CELING. SUSTING SPACE SHALL BE SERVED BY UPRIGHT FIS HEADS WHERE THERE IS NO CELING. SUSWALL FS HEADS SHALL BE USED WHERE UPRIGHT AND CONCEALED FS HEADS ARE ARDUOUS TO INSTALL.

 $\frac{\text{NOTE:}}{1.}$  contractor to confirm existing PIPE sizes, and route prior to demolition work.





# $\bigcirc$ 0 0 -(3) 4 1TTH FLOOR NEW MECHANICAL PLAN SCALE: 1/4" = 1"- 0"

#### NEW MECHANICAL WORK NOTES:

(II) PROVIDE NEW DRIPLESS WINDOW AC COMPLETE. INCLUDING, BUT NOT LIMITED TO INSULATION, TRIM, REMOTE, ETC. AND ASSOCIATED ACCESSORIES. CONTRACTOR TO PATCH/REPAIR WALLS TO MATCH EXISTIC. CONTRACTOR TO FIELD VERIFY.

 $\frac{\text{NOTE:}}{1.} \quad \text{contractor shall field verify existing conditions prior to demolition/new work.}$ 

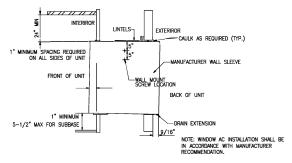


65 R TAN					
2	REV	DATE	DESCRIPTION	BY	APPROVED
LICENSED PROFESSIONAL ENGINEER No. 8301-M		STATE OF HAWAII EPARTMENT OF TRANSPORT HARBORS	ATIO	N	
	JOB TITL	E	REPAIR ELEVATOR AT ALOHA TOWER HONOLULU HARBOR, OAHU, HAWAII		
THIS WORK WAS PREPARED BY ME OR UNDER MY SUPERVISION	SHEET TO 11TH		NEW MECHANICAL PLAN		
	DESIGNED BY	MEI	1	1 2	HEET
Rankton	DRAWN DY:	MEI			
PROJECT ENGINEER FOR MECHANICAL ENTERPRISES, INC.	CHECKED BY	RRT	-	. N	1-4
APRIL 30, 2024	DATE: JU	JLY 2024	S10842R	l <del></del>	
EXPIRATION DATE OF LICENSE	scale: A	S NOTED	310042K	30 °	38_ <sub>SHTS.</sub>

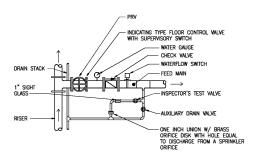
#### MECHANICAL SCHEDULE:

PROVIDE MACNETIC STAFTER/DISCONNECTS WITH AUTOMATIC RESET FOR ALL UNITS. PROVIDE NEMA-4X STAFTER ENCLOSURE FOR ALL OUTDOOR EQUIPMENT, ALL OUTDOOR EQUIPMENT SHALL HAVE POLYSILOXANE COATING PROTECTION ON INSIDE AND OUTSIDE OF HOUSING. PROVIDE PHASE FAILURE/PHASE REVERSAL/OVER VOLTAGE/UNDER VOLTAGE ELECTRICAL PROTECTION. PROVIDE CONTROL VOLTAGE TRANSFORMERS.

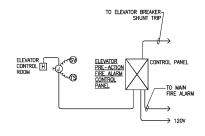
ſ	WALL AIR CONDITIONING UNIT													
	UNIT	AREA SERVED	MAKE AND MODEL OR APPROVED EQUAL	TOTAL (BTUH)	DB*F	WB*F	CFM	AMP		$\neg$	HZ	0550	WEIGHT (LBS.)	REMARKS
ſ	WAC 1	ELEVATOR ROOM	FRIEDRICH CCW12B10B	12,000	86	75	330	8.6	115	1	60	12.0	64	PROVIDE MANUFACTURER WALL SLEEVE WITH ARCHITECTURAL LOUVER, REMOTE CONTROLLER, AUTO RESTART, FILTER, ETC., AND ASSOCIATED ACCESSORIES.







C FLOOR CONTROL VALVE ASSEMBLY DETAIL



#### FIRE SPRINKLER CONTROL SYSTEM NOTES:

THE FIRE SPRINKLER CONTROL SYSTEM SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH NFPA 72, PARAGRAPH 21.3 ELEVATOR RECALL FOR FIREFIGHTERS' SERVICE.

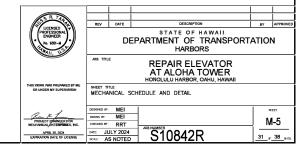
2. DEVICES ARE SHOWN IN SUGGESTED LOCATIONS. FINAL QUANTITY AND LAYOUT SHALL BE IN ACCORDANCE WITH APPLICABLE CODES, MANUFACTURER'S RECOMMENDATIONS, AND EQUIPMENT LISTINGS.

. 3.ALL NEW ALARM CONDUIT SHALL BE 3/4" MINIMUM.

4. ALL INITIATING DEVICES CIRCUITS SHALL BE CLASS A (STYLE D) SUPERMSED. THE RETURN LOOP (HOME RUN) OF EACH CIRCUIT SHALL BE ROUTED IN A SEPARATE RACEWAY FROM THE OUTGOING PORTION OF THE LOOP.

B ELEVATOR PRE-ACTION SCHEMATIC
N-5 SCALE: NOT TO SCALE

	FIRE SPRINKLER CONT	ROL P.	ANE	L S	EQU	JEN	CE C	)F C	)PEI	RATION
		SYSTEM OUTPUT		AMILIAS TANK	ALADI.		PROSONIECT E PRIMO.	ACTIVATE SOLENOOR FOWER	OSCOLINO CINITON	Milecy Element
	SYSTEM INPUT		Α	В	С	D	E	F	G	
1	COMMON TROUBLE/TAMPER SWITCH			х		Х				
2	ELEVATOR CONTROL ROOM		х		х		х	х		
			Α	В	С	D	Е	F	G	



MOUNTING HEI	GHTS INDICATED	ON PLAN)
	IBOL	
EXISTING	NEW	DESCRIPTION
е		SURFACE MOUNTED CONDUIT, 3/4" MINIMUM, CONDUCTORS AS INDICATED PROVIDE CONDUIT SUPPORTS 8'-0" ON CENTER, MAXIMUM
—е—		CONDUIT CONCEALED IN CEILING SPACE
—е—		CONDUIT CONCEALED BELOW GRADE OR IN FLOOR SLAB
	~~-0	EQUIPMENT TERMINATION WITH FLEXIBLE CONDUIT WHIP
	<b>E</b> ——	CONDUIT STUB, 3/4" MINIMUM CONDUIT UNLESS OTHERWISE NOTED
	<b>@</b>	JUNCTION BOX, SMALL, WALL MOUNTED
	J+	JUNCTION BOX, LARGE, WALL MOUNTED
	0	JUNCTION BOX, SMALL, HORIZONTALLY MOUNTED
	J	JUNCTION BOX, LARGE, HORIZONTALLY MOUNTED
cii		PANELBOARD
[F]+		FIRE ALARM MANUAL PULL STATION
[]	ᅜ타	FIRE ALARM AUDIO/VISUAL SIGNALLING DEVICE
[A]		FIRE ALARM ADDRESSABLE MODULE, TYPE AS INDICATED
(S)	(S)	SMOKE SENSOR, CEILING MOUNTED
	db	RECEPTACLE, DUPLEX, GFCI TYPE, NEMA 5-2R, MOUNTING HEIGHT: +18'
(FS)	<b>F</b> S	FIRE SPRINKLER FLOW SWITCH CONNECTION
(TS)	rs)	FIRE SPRINKLER SUPERVISORY SWITCH CONNECTION
[[[]]	0	LUMINAIRE, NUMERAL IN CIRCLE INDICATES LUMINAIRE TYPE
\$	\$	LIGHT SWITCH, 120/277V, WALL MOUNTED, TOP AT +48"
*	*	
	+42"	DENOTES 42" ABOVE FINISHED FLOOR OR GRADE
	AFF	ABOVE FINISHED FLOOR
	EMT	ELECTRIC METALLIC TUBING
	FA	FIRE ALARM
	FACP	FIRE ALARM CONTROL PANEL
	GFCI	GROUND FAULT CIRCUIT INTERRUPTER
	GRS	GALVANIZED RIGID STEEL
	KVA	KILOVOLT-AMPERE
	KVA	KILOVOLT-AMPERE
	WP	WEATHERPROOF
	×	DENOTES DEMOLITION/REMOVAL
	<b>♦</b>	NOTE INDICATOR
	1 E-2	DETAIL INDICATOR: TOP HALF DENOTES DETAIL NUMBER, BOTTOM HALF DENOTES SHEET NUMBER

#### GENERAL ELECTRICAL NOTES:

- ALL ELECTRICAL ITEMS INDICATED ON THE DRAWINGS ARE NEW AND SHALL BE PROVIDED BY THE CONTRACTOR UNLESS OTHERWISE NOTED.
- ALL CONDUIT ROUTING AND JUNCTION BOX LOCATIONS SHOWN ON THE DRAWINGS ARE APPROXIMATE. THE CONTRACTOR SHALL ROUTE CONDUITS AND MOINT JUNCTION BOXES IN A LOGICAL AND CONSTRUCTIBLE MANNER
- FIRE ALARM DEVICE LOCATIONS ARE BASED ON ROOM USAGE AND FURNITURE CONFIGURATIONS. NOTIFY THE HARBORS CONSTRUCTION ENGINEER OF ANY CONFLICTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING HIS WORK AND TO ENSURE PROPER INSTALLATION OF ALL WORK WITHIN THE AVAILABLE SPACE. NOTIFY THE HARBORS CONSTRUCTION ENGINEER OF ALL QUESTIONS IN WRITING AND RESOLVE ALL QUESTIONS AND CONCERNS PRIOR TO PROCUREMENT AND BEFORE START OF CONSTRUCTION.
- 5. SHOULD PROJECT CONDITIONS REQUIRE REARRANGEMENT OF WORK, MARK SUCH CHANGES ON THE "AS-BUILT" DRAWINGS. IF THESE CHANGES REQUIRE ALTERNATE METHODS TO THOSE SPECIFIED IN THE CONTRACT DOCUMENTS, SUBMIT DRAWINGS SHOWING THE PROPOSED ALTERNATE METHODS TO THE HARBORS CONSTRUCTION ENGINEER. DO NOT PROCEED UNTIL APPROVAL IS OBTAINED FROM THE HARBORS CONSTRUCTION ENGINEER.
- THE CONTRACTOR SHALL SCHEDULE ALL WORK TO MINIMIZE DISRUPTION TO THE FACILITY OPERATIONS. CONTRACTOR SHALL COORDINATE SCHEDULING REQUIREMENTS WITH THE HARBORS CONSTRUCTION ENGINEER PRIOR TO COMMENCING WORK
- CONTRACTOR SHALL SEQUENCE WORK TO MINIMIZE THE NUMBER AND DURATION OF ELECTRICAL OUTAGES TO THE FACILITY. CONTRACTOR SHALL SUBMIT WRITTEN NOTICE OF SCHEDULED OUTAGES TO THE HARBORS CONSTRUCTION ENGINEER AT LEAST 14 DAYS IN ADVANCE.
- ALL JUNCTION BOXES SHALL BE PROPERLY MOUNTED, ANCHORED, AND SUPPORTED BY APPROVED METHODS FOR SEISMIC RESTRAINT.
- ROUTE EXPOSED CONDUIT THRU INTERIOR OF BUILDING AT MINIMUM MOUNTING HEIGHT OF 9'-0". AVOID LIGHTS, CEILING FANS, CABINETS, DRAIN PIPES, WINDOWS, DOORS, ETC. STRAP CONDUIT TO THE LOWEST POINT OF EXISTING CEILING STRUCTURE WHERE FEASIBLE – DO NOT STEM MOUNT.
- PROVIDE A GREEN INSULATED EQUIPMENT GROUNDING CONDUCTOR WITH PHASE CONDUCTORS IN ALL RACEWAYS. EQUIPMENT GROUNDING CONDUCTOR SHALL BE NO SMALLER THAN THE SIZES REQUIRED IN ACCORDANCE WITH NEC TABLE 250-122.
- 11. PROVIDE SEPARATE NEUTRAL CONDUCTORS FOR ALL 120V BRANCH CIRCUITS. A COMMON NEUTRAL CONDUCTOR SHALL NOT BE UTILIZED. WHERE MULTIPLE NEUTRAL CONDUCTORS ARE INSTALLED IN A COMMON CONDUIT, PROVIDE COLOR CODING OF EACH NEUTRAL CONDUCTOR IN ACCORDANCE WITH THE NEC.
- PROVIDE NYLON PULLSTRING IN ALL EMPTY CONDUITS UNLESS OTHERWISE INDICATED.
- PENETRATIONS SHALL BE FIRESTOPPED AND OPENINGS SHALL BE PROTECTED THROUGH FIRE—RATED WALLS, FLOOR, ROOF, AND CEILING ASSEMBLIES AS REQUIRED BY THE 2018 IBC.

#### GENERAL FIRE ALARM SYSTEM INSTALLATION NOTES:

- PROVIDE WIRE MARKINGS REQUIRED BY THE NEC FOR ALL WIRE CONNECTIONS/TERMINATIONS AT THE FIRE ALARM CONTROL PANEL.
- PROVIDE WIRE NUT CONNECTIONS FOR ALL DEVICES WITH PIGTAILS. ALL OTHERS SHALL BE BY SCREW OR TERMINAL CONNECTIONS.
- PROVIDE SIZE IN OHMS AND RATING IN WATTS FOR ALL "END-OF-LINE" RESISTORS IN THE FINAL AS-BUILT DRAWINGS.
- PROVIDE SIX FEET OF SLACK FOR ALL SPARE INCOMING CONDUCTORS IN FIRE ALARM CONTROL PANEL. SECURE WIRING WITH CABLE TIES TO INTERIOR OF THE FIRE ALARM CONTROL PANEL.
- 5. INSTALL WIRE MARKERS A MININUM OF 4 INCHES FROM THEIR ENDS IN A MANNER THAT WILL NOT PERMIT ACCIDENTAL DETACHMENT. PROVIDE A MINIMUM OF 6 INCHES OF WIRE SLACK PER NEC AND/OR A MINIMUM OF 6 INCHES OF WIRE IN A VIBRATION LOOP. PROVIDE A VIBRATION LOOP FOR EACH WIRE TERMINATION TO EQUIPMENT TERMINASI INSIDE FIRE ALARM CONTROL PANELS AND OTHER EQUIPMENT.
- ELECTRICAL CONTRACTOR TO VERIFY CABLE WIRE AND WIRE COUNT WITH FIRE ALARM EQUIPMENT SUPPLIER.
- 7. SUGGESTED EQUIPMENT WIRE BUNDLING METHOD
  - G. USE INSULATED #14 AND #12 AWG INSULATED WIRES (EITHER USED MATERIAL OR UNUSABLE SHORT SCRAP PIECES) FOR TEMPORARY STRAPPING, BUNDLING AND TYING.
  - b. SECURE INDIVIDUAL FIRE ALARM CONDUCTORS AND CABLES IN BUNDLES BY WRAPPING SHORT TIE WIRES AROUND THEM AND TWISTING THE TIE—WIRE ENDS TO KEEP THE BUNDLE SHAPES.
  - c. TIE THE BUNDLES DOWN AT CONVENIENT LOCATIONS IN THE PANEL.
  - d. USE INSULATED #12 AWG WIRE SCRAPS AS STIFFENERS FOR SMALL BUNDLES OR TO KEEP SINGLE OR PAIRED WIRES IN PLACE. (THE ENDS OF THE STIFFENER WIRES MAY BE ANCHORED TO THE RACK OR EQUIPMENT FOR PERMANENT INSTALLATION.)
  - e. AFTER COMPLETING THE LABELING OF THE WIRES, CHECKING/TESTING FOR CORRECT CONNECTIONS AND MAKING THE FINAL TERMINATIONS/CONNECTIONS IN THE ORDER STATED ABOVE, INSTALL THE PERMANENT TIES.
  - f. FINALLY, REMOVE THE TEMPORARY TIES.
- 8. PROVIDE COPIES OF THE COMPLETED AS—BUILT DRAWINGS, FIRE ALARM POINT—TO—POINT WIRING DIAGRAMS, FIRE ALARM CONTROL PANEL MODULAR WIRING DIAGRAMS, SHOP DRAWINGS AND THE SYSTEM OPERATION AND MAINTENANCE MANUALS TO THE HARBORS ENGINEER CONSTRUCTION AT LEAST 14 CALENDAR DAYS PRIOR TO THE FINAL ACCEPTANCE INSPECTION. SUBMIT THE SHOP DRAWINGS IN A TIMELY MANNER TO ALLOW FOR THE REQUIRED CONSTRUCTION COMPLETION.

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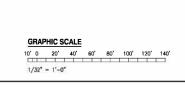
#### GENERAL FIRE ALARM NOTES:

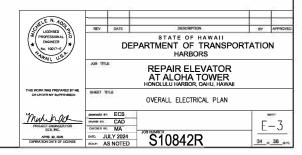
- FIRE ALARM SYSTEMS SHALL BE DESIGNED, INSTALLED AND MAINTAINED IN ACCORDANCE WITH NFPA 1 2018, 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN SECTION 215 AND 702.1, AND OTHER NATIONALLY RECOGNIZED STANDARDS.
- ANY FIRE ALARM SYSTEM ACTIVATING DEVICE SHALL SOUND A GENERAL ALARM
- UPON COMPLETION OF THE INSTALLATION, A SATISFACTORY TEST SHALL BE CONDUCTED IN THE PRESENCE OF THE HARBORS ENGINEER
- EXISTING FIRE ALARM SYSTEM SHALL REMAIN OPERATIONAL UNTIL THE NEW FIRE ALARM WORK HAS BEEN TESTED AND ACCEPTED.
- REMOVE ALL EXISTING FIRE ALARM DEVICES, CONTROL PANELS, AND ASSOCIATED EXPOSED RACEWAYS AND WIRING, UNLESS NOTED OTHERWISE, EXISTING CONCEALED FIRE ALARM RACEWAYS MAY BE ABANDONED IN PLACE WITH EXISTING WIRING REMOVED.
- PROVIDE BLANK COVER PLATES WHERE FLUSH AND SEMI-FLUSH MOUNTED FIRE ALARM DEVICES ARE TO BE REMOVED.
- PATCH ALL UNUSED PENETRATIONS THROUGH BUILDING STRUCTURES ASSOCIATED WITH REMOVAL OF FIRE ALARM SYSTEM.
- PAINT ALL PATCHED AREAS LEFT EXPOSED DUE TO THE REMOVAL OF EXISTING FIRE ALARM DEVICES, CONTROL PANELS, AND ASSOCIATED EXPOSED RACEWAYS TO MATCH ADJACENT SURROUNDING FINISHES
- STRUCTURES UNDERGOING CONSTRUCTION, ALTERATION, OR DEMOLITION OPERATIONS, INCLUDING THOSE IN UNDERGROUND LOCATIONS, SHALL COMPLY WITH NFPA 241, STANDARD FOR SAFEGUARDING CONSTRUCTION, ALTERATION, AND DEMOLITION OPERATIONS, AND NFPA 1 (2018 EDITION, AS AMENDED).
- 10. FIRE SAFETY DURING ALTERATION:
  - 16.4.4.1 WHERE THE BUILDING IS PROTECTED BY FIRE PROTECTION SYSTEMS, SUCH SYSTEMS SHALL BE MAINTAINED OPERATIONAL AT ALL TIMES DURING ALTERATION.
  - 16.4.4.2 WHERE ALTERATION REQUIRES MODIFICATION OF A PORTION OF THE FIRE PROTECTION SYSTEM, THE REMAINDER OF THE SYSTEM SHALL BE KEPT IN SERVICE AND THE FIRE DEPARTMENT SHALL BE NOTIFIED. 2018 NFPA 1.
  - 16.4.4.3 WHEN IT IS NECESSARY TO SHUT DOWN THE SYSTEM, THE AHJ SHALL HAVE THE AUTHORITY TO REQUIRE ALTERNATE MEASURES OF PROTECTION UNTIL THE SYSTEM IS RETURNED TO SERVICE. 2018 NFPA 1.
  - 10.8.1.1 AS NECESSARY DURING EMERGENCIES, MAINTENANCE, DRILLS, PRESCRIBED TESTING, ALTERATIONS, OR RENOVATIONS, PORTABLE OR FIXED FIRE-EXTINGUISHING SYSTEMS OR DEVICES OR ANY FIRE-WARNING SYSTEM SHALL BE PERMITTED TO BE MADE INOPERATIVE OR INACCESSIBLE. A FIRE WATCH SHALL BE REQUIRED AS SPECIFIED IN SECTIONS 13.3.3.6.5.2(4)(b), 13.7.1.4.4, 16.5.4, 34.6.3.3, 41.2.2.6, 41.2.2.7, 41.2.4, 41.3.5, 41.4.1, 34.5.4.3, AND 25.1.8 AT NO COST TO THE AHJ. NFPA 1 2018, AS AMENDED.
- AHJ APPROVAL: 13.1.1 THE AHJ SHALL HAVE THE AUTHORITY TO REQUIRE THAT CONSTRUCTION DOCUMENTS FOR ALL FIRE PROTECTION SYSTEMS BE SUBMITTED FOR REVIEW AND APPROVAL AND A PERMIT BE ISSUED PRIOR TO THE INSTALLATION. REHABILITATION, OR MODIFICATION. FURTHER, THE AHJ SHALL HAVE THE AUTHORITY TO REQUIRE THAT FULL ACCEPTANCE TESTS OF THE SYSTEMS BE PERFORMED IN THE AHJ'S PRESENCE PRIOR TO FINAL SYSTEM CERTIFICATION. FIRE ALARM SYSTEMS; FIRE HYDRANT SYSTEMS; FIRE-EXTINGUISHING SYSTEMS; STANDPIPES; AND OTHER FIRE-PROTECTION SYSTEMS AND APPURTENANCES REQUIRED BY THIS CODE SHALL BE APPROVED BY THE AHJ AS TO INSTALLATION AND LOCATION AND SHALL BE SUBJECT TO ACCEPTANCE TESTS REQUIRED BY THE APPROPRIATE COUNTY AGENCY. NFPA 1, CHAPTER 13 AS AMENDED.

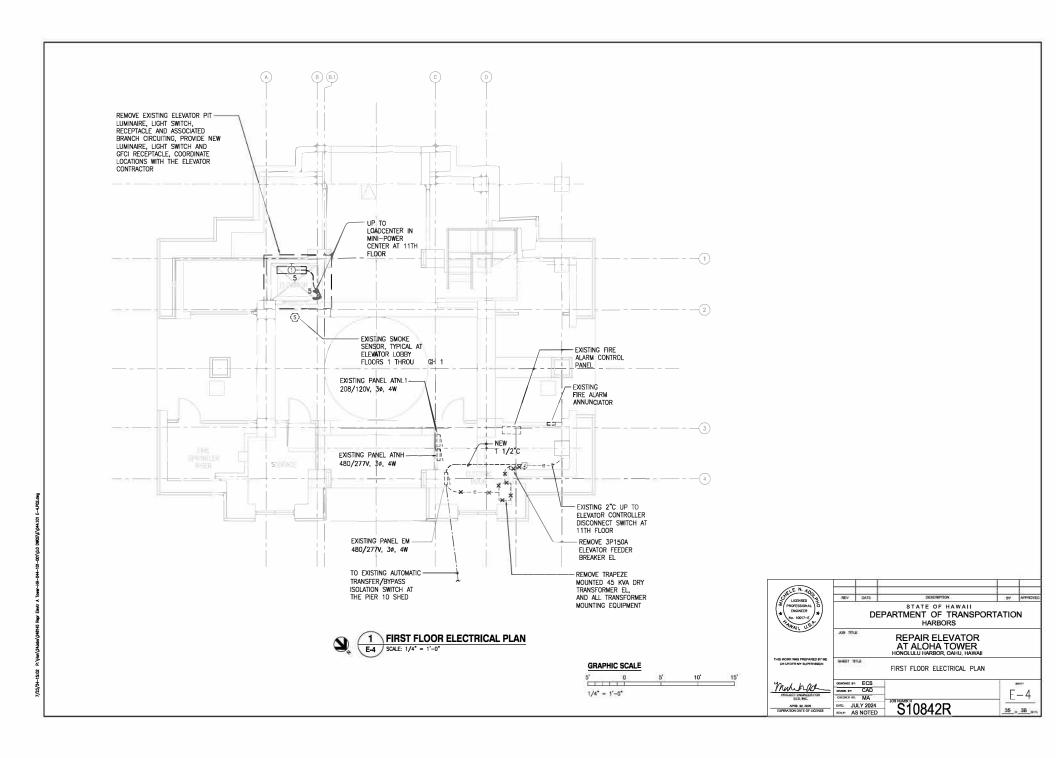
- 12. COORDINATE ALL FIRE ALARM SYSTEM WORK WITH THE HARBORS FIRE ALARM SYSTEM MAINTENANCE CONTRACTOR. PAY FOR ALL CHARGES LEVIED BY THE HARBOR'S FIRE ALARM SYSTEM MAINTENANCE CONTRACTOR FOR SERVICES
- PRIOR TO COMMENCING ANY WORK ON THE EXISTING FIRE ALARM SYSTEM, CONFIRM THAT THE SYSTEM IS OPERATING PROPERLY BY TESTING THE SYSTEM IN THE PRESENCE OF THE HARBORS CONSTRUCTION ENGINEER OR OBTAINING A CLEARANCE FROM HARBORS. ANY PRE-EXISTING DEFICIENCIES SHOULD BE NOTED AT THIS TIME AND PRESENTED TO THE HARBORS CONSTRUCTION ENGINEER FOR THEIR ACTION. THE CONTRACTOR WILL BE RESPONSIBLE FOR REPAIRING ANY ENSUING SYSTEM DEFICIENCIES NOT DOCUMENTED DURING THIS PRELIMINARY TESTING/CONFIRMATION PERIOD AT NO ADDITIONAL COST TO THE PROJECT.
- 14. DETECTION, ALARM, AND COMMUNICATION SYSTEMS:
  - 13.7.1.1 WHERE BUILDING FIRE ALARM SYSTEMS OR AUTOMATIC FIRE DETECTORS ARE REQUIRED BY OTHER SECTIONS OF THIS CODE, THEY SHALL BE PROVIDED AND INSTALLED IN ACCORDANCE WITH NEPA 70. NEPA 72. NATIONAL FIRE ALARM AND SIGNALLING CODE, AND SECTION 13.7, 2018 NFPA 1 AS AMENDED
  - FIRE ALARM SYSTEM INSTALLATION AND MAINTENANCE SHALL BE IN ACCCORDANCE WITH NFPA 72, NATIONAL FIRE ALARM AND SIGNALLING CODE AND NFPA 1, 2018, AS AMENDED.
- 15. 13.7.3.2.5 A TAG SHALL BE PLACED ON THE FIRE ALARM PANEL WHEN TESTED IN ACCORDANCE WITH SECTION 13.7.3.2. INFORMATION ON THE TAG SHALL INCLUDE THE DATE OF TESTING, TESTING COMPANY, AND CONTACT INFORMATION, TECHNICIAN PERFORMING THE TEST, AND THAT THE TEST WAS SATISFACTORY. NFPA 1 2018, CHAPTER 13, AS AMENDED.
- 16. 13.7.3.2.1 APPROVAL AND ACCEPTANCE:
  - a. 13.7.3.2.1.3 BEFORE REQUESTING FINAL APPROVAL OF THE INSTALLATION. IF REQUIRED BY THE AHJ, THE INSTALLING CONTRACTOR SHALL FURNISH A WRITTEN STATEMENT STATING THAT THE SYSTEM HAS BEEN INSTALLED IN ACCORDANCE WITH APPROVED PLANS AND TESTED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND THE APPROPRIATE NFPA REQUIREMENTS. [72:10.8.18.1.3]
  - 13.7.3.2.1.4\* THE RECORD OF COMPLETION FORM, FIGURE 10.18.2.1.1 OF NFPA 72 2010, SHALL BE PERMITTED TO BE A PART OF THE WRITTEN STATEMENT REQUIRED IN 13.7.3.2.1.3 WHEN MORE THAN ONE CONTRACTOR HAS BEEN RESPONSIBLE FOR THE INSTALLATION, EACH CONTRACTOR SHALL COMPLETE THE PORTIONS OF THE FORM FOR WHICH THAT CONTRACTOR HAD RESPONSIBILITY. [72:10.8.18.1.4]
  - 13.7.3.2.1.5 THE RECORD OF COMPLETION FORM, FIGURE 10.18.2.1.1 OF NFPA 72, SHALL BE PERMITTED TO BE A PART OF THE DOCUMENTS THAT SUPPORT THE REQUIREMENTS OF 13.7.3.2.2.4. 2018 NFPA 1, AS AMENDED. [72:10.18.1.5]

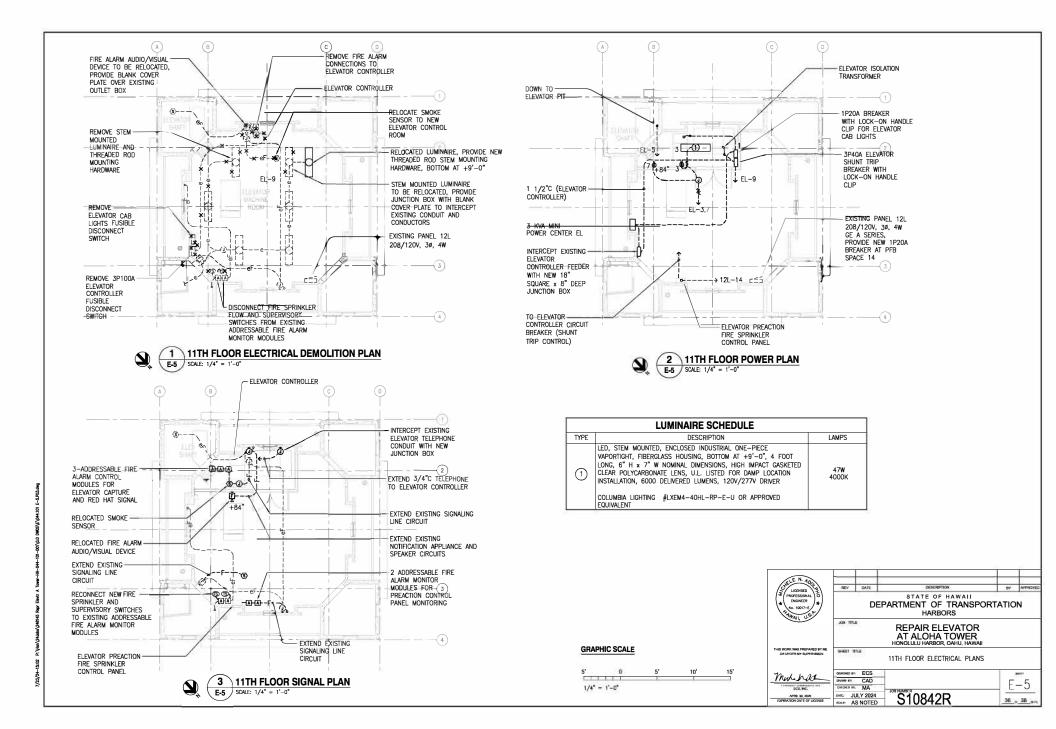
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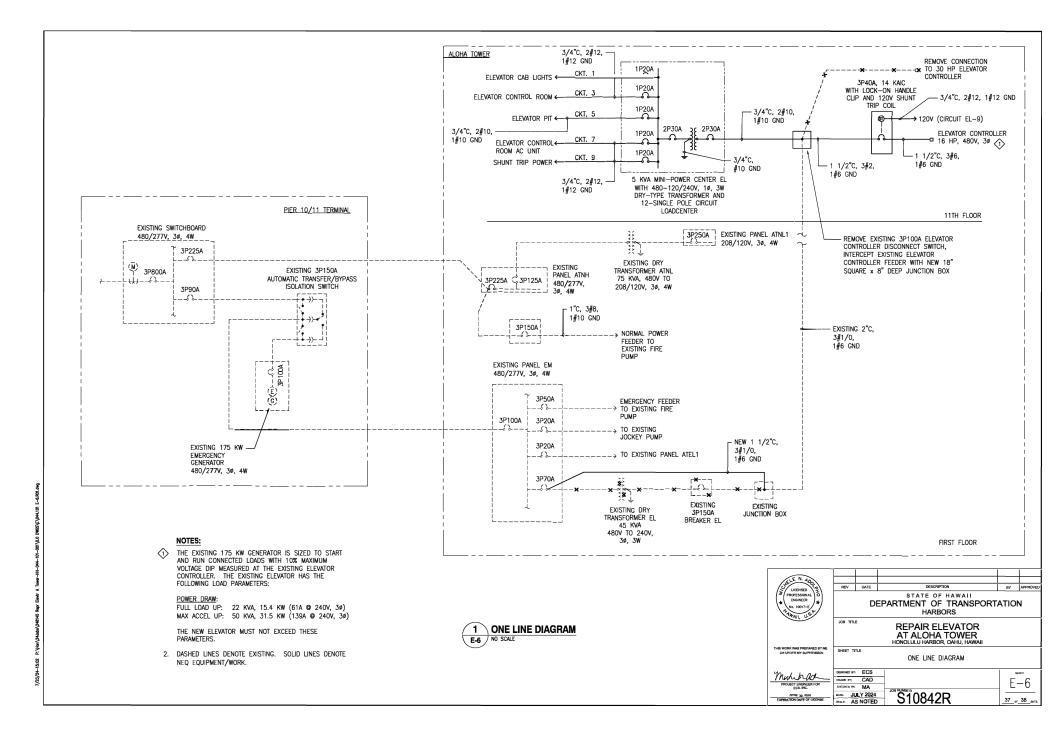


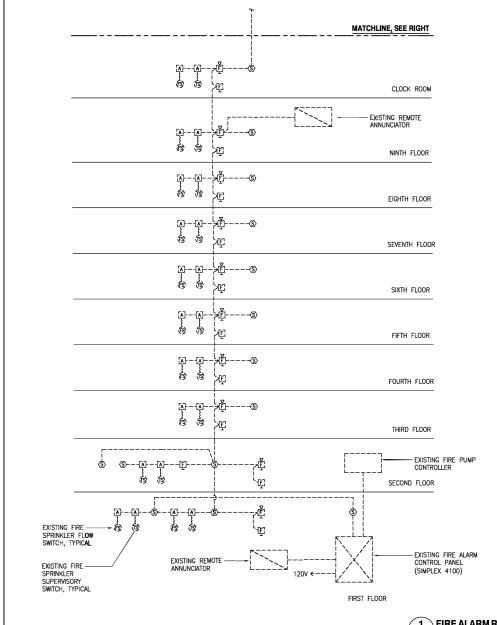


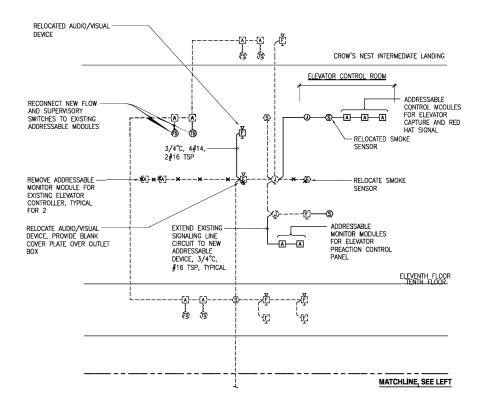




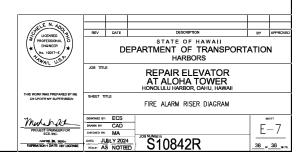








## NOTE: DASHED LINES DENOTE EXISTING. SOLID LINES DENOTE NEW EQUIPMENT/WORK.



1 FIRE ALARM RISER DIAGRAM